

BEAVERCREEK PLANNING COMMISSION  
REGULAR MEETING, January 6, 2016, 7:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. REORGANIZATION
- V. APPROVAL OF MINUTES
  - A. December 2, 2015
- VI. PUBLIC HEARINGS
  - A. Z-16-1, TCN Behavioral Rezoning, I-1 to RP-1
- VII. DECISION ITEMS
  - A. PUD 91-2 MOD 12/15, BSM Development, Minor Modification
- VIII. SUBDIVISIONS
  - A. S-16-1, Shoppes at Fairfield Commons
  - B. S-16-2, AAA Sumerel Beaver creek
- IX. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION  
REGULAR MEETING, December 2, 2015

PRESENT: Mr. Archibald, Mr. Curran, Mr. Erbes, Mr. Self, Mr. Stone

ABSENT: None

Chairman Stone called the meeting to order followed by roll call.

Mr. Curran MOVED approval of the agenda. Motion was seconded by Mr. Self and PASSED by majority voice vote.

Mr. Self MOVED approval of the November 4, 2015 minutes. Motion was seconded by Mr. Archibald and PASSED by majority voice vote.

**SUBDIVISIONS**

**S-15-6, The Shoppes at Fairfield Commons Replat**

Mr. Erbes MOVED to untangle S-15-6. Motion was seconded by Mr. Self and PASSED by majority voice vote.

Ms. Pereira summarized the staff report dated October 13, 2015 on a request by JFAL Holding Co. LLC, 141 N. Roadrunner Parkway, Suite 137, Las Cruces, NM 88011. The applicant is requesting approval of a replat of 1.5575 acres within the Shoppes at Fairfield Commons subdivision to create an additional buildable lot. Ms. Pereira explained since the last meeting, staff spoke to the owner of the property and the reason for splitting the lot is for the closing for the IHOP Restaurant. She said they provided staff with a preliminary site plan of the lot because of the concerns from Planning Commission regarding the size of the lot. Ms. Pereira stated the preliminary site plan would need a lot of work, but it shows a 2,800 square foot restaurant type building would fit on the lot with more parking than what would be required. She explained staff has added a fifth condition to the case, and recommended approval of the case.

Mr. Self asked if the site plan proposal would be reviewed by them as a specific site plan case. Ms. Pereira stated that was correct, and explained they let the applicant know that by creating this lot it is in no way an endorsement saying they are going to be able to build on the lot. Mr. Self asked if this was basically a lot split then. Ms. Pereira said yes.

Mr. Archibald asked if there was any minimum building size associated with PUD 91-2. Ms. Pereira said no there was no minimum building sizes for this development. Mr. Archibald asked if they built the IHOP Restaurant and are selling it to someone since this has to be done as part of the real estate closing. Pete Nichols, Vice President with Colliers International Commercial Real Estate, representing the owner of the property, stated the IHOP has set records on sales and said it was a terrific unit and reflects well on the Beaver Creek market. He explained the property with the IHOP is under contract to sell, and the plan is to develop the additional lot so they want to split it into two lots in order to sell the property that just the IHOP is on.

Mr. Nichols explained when they negotiated the contract on the purchase of the property, they have a cross parking easement with what is now the Hobby Lobby property so they have plenty of parking. He believed Chick-Fil-A is also going to be able to park overflow parking on the Hobby Lobby. Mr. Nichols explained their goal is to find a regional or national restaurant to occupy the vacant property. Mr. Archibald asked if they have had any takers on the property. Mr. Nichols stated they have had numerous companies interested, but they are trying to find the right deal and they want to get the lot split done so they can complete that transaction. Mr. Archibald explained he was concerned about the size of the lot and what can be built on it. Mr. Nichols stated his client will most likely develop the other building and retain the ownership of that building, so he will know what the restrictions are, will act accordingly, and will work with the planning staff.

Mr. Stone stated people are currently parking on the empty lot that is not paved, and felt that if it is not paved it should not be parked on. He questioned what staff's thoughts were about putting in some bumper blocks to prevent people from parking on the lot. Ms. Pereira explained with the way the IHOP lot was constructed there is an apron into the unpaved area, but they could talk to the developers and have them chain it off. She explained she had spoken to them before about it, and is something that can be taken care of. Mr. Nichols said he would relay the message tomorrow also.

Mr. Self asked when they approved the original PUD if they required cross access parking for all of the outlots. Ms. Pereira stated that was correct, but each specific outlot still needs to meet the parking requirements of the Code and the cross parking is for the overflow during the holidays or during peak hours.

Mr. Curran MOVED to approve S-15-6 with five conditions:

1. The approved record plan shall be the plan stamped "Received September 14, 2015", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.
4. All access, parking, and utility easements shall remain in full force and effect.
5. Lot 9A shall only be considered a buildable lot contingent on approval by Planning Commission and City Council of an application for development in accordance with the development standards set forth in PUD 91-2 and the Beavercreek Zoning Code.

Motion was seconded by Mr. Self. Motion PASSED by unanimous voice vote.

Ms. Pereira thanked Mr. Stone for his service on Planning Commission and looked forward to working with him on City Council.

**ADJOURNMENT**

Mr. Curran MOVED adjournment at 7:10 p.m., seconded by Mr. Self. Motion PASSED by majority voice vote.

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Melissa Gillaugh  
Deputy Clerk

**CITY OF BEAVERCREEK  
PLANNING COMMISSION  
AGENDA ITEM REPORT**

<b>Meeting Date:</b> January 6, 2016	<b>Reference Topic</b> Z 16-1
<b>Agenda Reference No.</b>	TCN Behavioral Rezoning

<b>ACTION REQUESTED</b>		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

**REQUEST BY APPLICANT:**

The applicant is requesting to rezone 3.223 acres from I-1, light industrial to RP-1 Research Park located at 1400 Grange Hall Road.

**STAFF RECOMMENDATION:**

Staff is recommending approval of this rezoning request as outlined in the attached resolution.

**PROCEDURAL OPTIONS FOLLOWING ACTION:**

The Planning Commission may choose to recommend approval, disapproval, modification or tabling of the attached application for further review.

# CITY OF BEAVERCREEK STAFF REPORT

December 31, 2015

**PROJECT:** TCN Behavioral Services Rezoning

**CASE NUMBER:** Z 16-1

**APPLICANT:** Lori Strobl  
452 West Market St.  
Xenia OH 45385

## REQUEST

The applicant is requesting to rezone 3.223 acres from I-1, Light Industrial to RP-1, Research Park located at 1400 Grange Hall Road.

## BACKGROUND

TCN Behavioral Services, a non-profit organization, currently has the property under contract. However, the I-1 industrial zoning designation has very limited uses and the proposed use of behavioral health and prevention services is not currently permitted. The RP-1 zoning designation would allow for the use but would also still allow for research and development uses, as the applicant has indicated that an existing tenant will continue to occupy a portion of the building.



## EXISTING CONDITIONS

The site currently contains an approximately 26,000 square foot office building that formerly housed ATK, which relocated to a new building just to the east of this property. All parking, landscaping, lighting and storm water detention are already

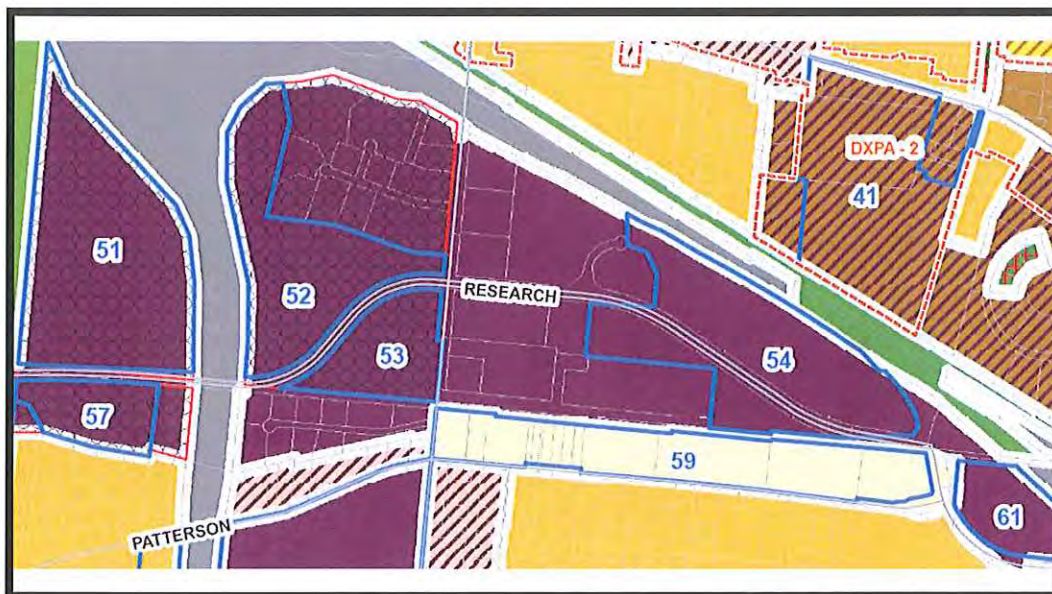


existing on site. The surrounding zoning and uses are as follows:

Direction	Zoning	Use
North	I-1	Vacant Parcel
South	I-1	Light Industrial (Currently Vacant)
East	I-1	ATK Orbital
West	ORP-1, RP-1	Office/Research

## LAND USE

The Land Use Plan calls for this property and all immediately adjacent properties to be classified as Research and Development-High Tech Manufacturing. This rezoning request is consistent with the land use designation specified in the Land Use Plan.



## RECOMMENDATION

Based on the analysis, Staff is recommending approval of the applicant's request as outlined in the proposed resolution

## RESOLUTION

CITY OF BEAVERCREEK  
PLANNING COMMISSION  
January 6, 2016

RE: Z-16-1  
I-1 Light Industrial to RP-1  
Research Park

WHEREAS, Lori Strobl (Agent for Owner) 452 West Market Street, Xenia, OH 45385, has filed an application requesting approval of an amendment of zoning classification from I-1 Light Industrial to RP-1 Research Park for 3.223 acres, located at 1400 Grange Hall Road further described as Book 2 Page 13, Parcel 70 on the property tax maps of Greene County, Ohio; and

WHEREAS, a public hearing was held on January 6, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to Beavercreek City Council the following:

A. That approximately 3.223 acres of land incorporated within this request and known as B42000200130007000 and as further described in the attached Exhibit A be rezoned to RP-1, Research Park.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

AGAINST:

ABSENT:

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Chairman

Attest:

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Situate in Section 2, Town 2, Range 7 MRS, City of Beavercreek, Greene County, Ohio and being a tract of land more particularly described as follows:

Beginning at an iron pin in the east right of way of Grange Hall Road at the northwest corner of land conveyed to Research Park Associates by deed recorded in Vol. 464, Page 613 of the Greene County Deed Records, said point also being the following two courses from the intersection of the west line of said Section 2 with the centerline of Research Boulevard;

N 05° 15' 09" E with said Section line and centerline a distance of 395.00 feet; thence S 84° 45' 15" E a distance of 60.00 feet to the true point of beginning of the hereinafter described land:

Thence from said point of beginning N 05° 15' 09" E with the east right of way of Grange Hall Road a distance of 360.00 feet to an iron pin; thence on a new division line S 84° 45' 15" E a distance of 390.00 feet to an iron pin; thence S 05° 15' 09" W a distance of 360.00 feet to an iron pin at the northeast corner of said Research Park Associates land; thence N 84° 45' 15" W a distance of 390.00 feet to the place of beginning, containing 3.223 acres, more or less.

DESCRIPTION CHECK  
 Greene County Engineers Tax Map Dept.  
☒ Legally Sufficient As Described  
☐ Legally Sufficient With Corrections Noted  
☐ Legally Insufficient, New Survey Required  
 By: PER Date 2-9-98  
 PAR ID Dist B42 BK 2 PG 13 PAR 70

1687DC

VOL 1166P6673

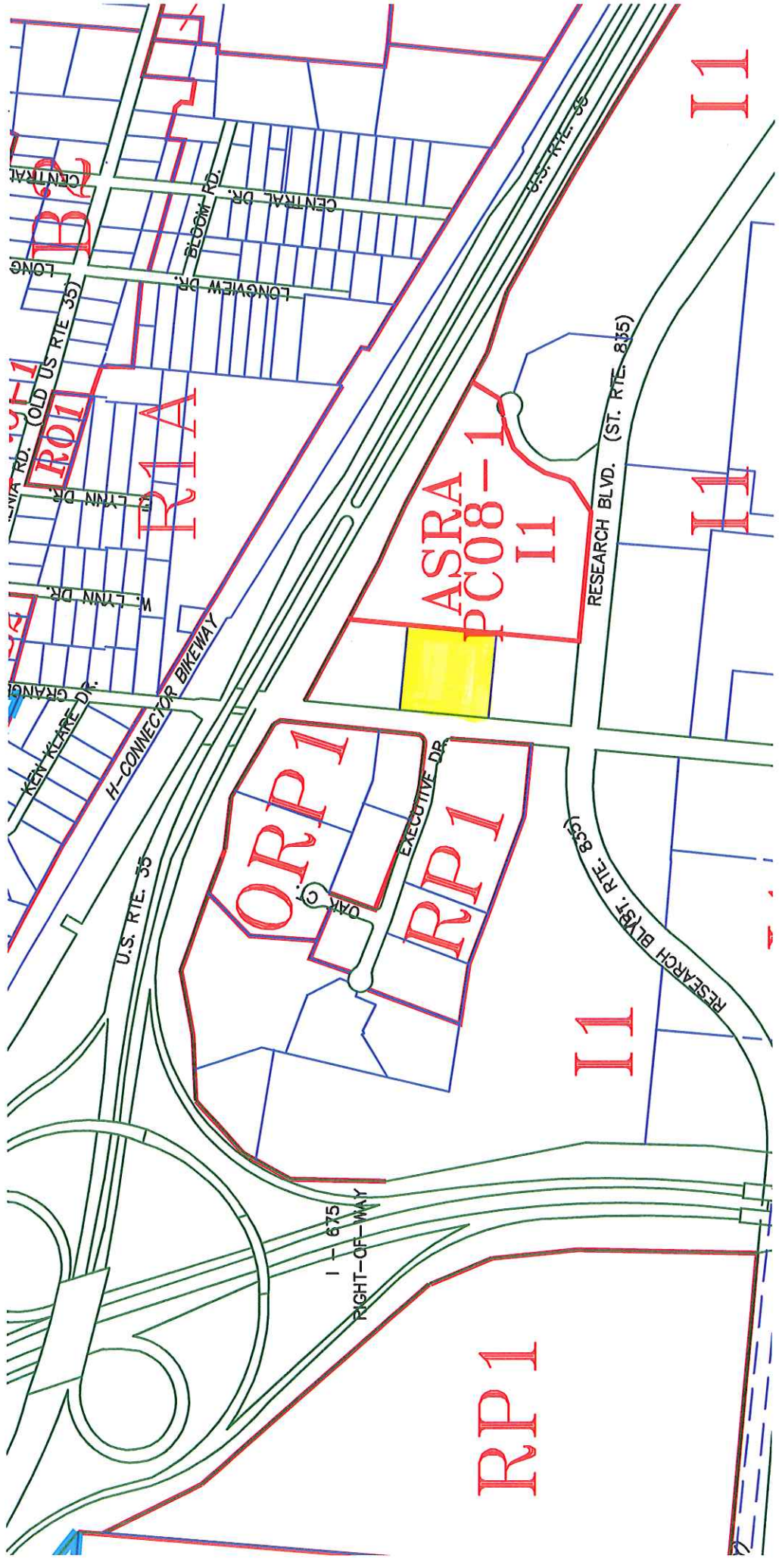












**CITY OF BEAVERCREEK  
PLANNING COMMISSION  
AGENDA ITEM REPORT**

<b>Meeting Date:</b> January 6, 2016	<b>Reference Topic</b> PUD 91-2 MOD 12-15 (Minor)
<b>Agenda Reference No.</b>	BSM Development

<b>ACTION REQUESTED</b>		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

**REQUEST BY APPLICANT:**

The applicant is requesting approval for a minor site plan modification, architectural elevations, and a landscape plan for a new structure at the Shoppes at Fairfield Commons, located at the southeast corner of Commons Boulevard and North Fairfield Road. In particular, they are proposing to construct approximately 34,270 square feet of commercial retail, 18,520 square feet of which is proposed to be an Aldi grocery store. The remaining 15,750 square feet will be divided into tenant spaces for commercial retail.

**STAFF RECOMMENDATION:**

Staff is recommending approval of this rezoning request as outlined in the staff report.

**PROCEDURAL OPTIONS FOLLOWING ACTION:**

The Planning Commission may choose to recommend approval, disapproval, modification or tabling of the attached application for further review.



## CITY OF BEAVERCREEK STAFF REPORT

December 31, 2015

**PROJECT:** BSM Development

**CASE NO.:** PUD 91-2 Mod (Minor) 12-15

**APPLICANT:** BSM Development  
3011 Armory Dr.  
Suite 120  
Nashville, TN 37204

### REQUEST

The applicant is requesting approval for a minor site plan modification, architectural elevations, and a landscape plan for a new structure at the Shoppes at Fairfield Commons, located at the southeast corner of Commons Boulevard and North Fairfield Road. In particular, they are proposing to construct approximately 34,270 square feet of commercial retail, 18,520 square feet of which is proposed to be an Aldi grocery store. The remaining 15,750 square feet will be divided into tenant spaces for commercial retail.

### ANALYSIS

#### Original SSP Approval/Background

The original Planned Unit Development was approved in 1991 and included 31.332 acres of land to be zoned to a C-PUD and 16.514 acres of land to be rezoned to an R-PUD. The permitted uses within C-PUD 91-2 portion of the property associated with this application, include B-2 and B-3 principal permitted uses while excluding 14 uses within these districts and excluding all conditional uses. Maximum square footage was the only other consideration that would apply to this request, which was set at 385,000 square feet for the C-PUD. To date, the Target portion of an approved retail center, the Kentucky Fried Chicken/Long John Silver, Abuelos, IHOP, Primanti Bros. and Hobby Lobby, totaling 198,729 square feet, are the only buildings within the commercial portion of the approved Planned Unit Development. The R-PUD portion of this approval on the north side of Lakeview Drive remains vacant, however a Specific Site plan for 92 units was approved by City Council in 2015.



The specific site plan approved for the C-PUD went through the process in 1996 and included all 31.332 acres. The total building square footage approved with the site plan was 276,071 square feet. That SSP approval is still in effect and the applicant is seeking a minor modification to that approval based on the fact that on the original approved specific site plan, the area associated with the proposed retail building is slightly wider than the 1996 approval, but not quite as deep, as it relates to the east (rear) of the PUD.

## **Building Design**

While this application is proposing to construct a 34,270 square foot building, in appearance and usage, the proposed plans show two distinct buildings, a 15,750 square foot multi-tenant retail building and an 18,520 square foot grocery store, attached by a common wall. Each of the two buildings have their own unique architectural features, as well as a common split-faced block base, dark red brick pilasters and tan EIFS cornices acting as unifying features.

The single story grocery store (Aldi) is proposed to be constructed mostly of red brick, with dark red brick pilasters. This section of the overall building will be 48 feet wide, 154 feet deep and be approximately 30 feet to the top of the entry feature. The southwest corner of the building, which has the customer entrance, proposes to be constructed of grey EIFS to act as an accent feature for that corner of the building. The rear of the grocery store will contain the same red brick material as the front and sides of the building.

The single story retail center, is proposed to be constructed mostly of a combination of brown and tan brick, but will contain the same dark red brick pilasters as Aldi's. This section of the overall building will be 225 feet wide, 70 feet deep and, again, be approximately 30 feet to the top of the highest portion of the parapet wall. The northwest corner of the building, which will face the drive aisle in front of the recently constructed Hobby Lobby, will have the same tan brick accent panel as the front of the building, and contain vertical red brick inset panels. The rest of the northern elevation will be constructed of the same red brick as the Aldi grocery store. The rear of the retail building will be constructed of the same split face block as the base of the rest of the building.

All building setbacks, as well as building and impervious surface requirements have been met with this application.

## **Access/Circulation**

The proposed site plan shows several access points to the site, all of which (with the exception of the direct access point from Hobby Lobby parking lot and the service entrance located off of Lakeview Drive) are located along the existing paved drive aisle within the

development. Each of the drive aisles between the six rows of parking will have terminal and interior landscape islands. Paved access to the rear of the building will be located on the north side of the building and a large paved area is to the rear of the building, to accommodate the loading docks, trash dumpsters and employee parking. An existing mound is located to the east of the rear of the building to help screen this area, as well as the rear of the building from the future residential apartments to the east. A 6-foot wide sidewalk is proposed to connect the southwest corner of Aldi's to the existing sidewalk along Lakeview Drive. Including the sidewalk, the applicant is showing bike racks to be installed to further accommodate non-motorized transportation users.

## **Parking**

In the Zoning Code, general retail is required to have one off-street parking space for every 250 square feet of gross floor area, and grocery stores are required to have one parking space for every 250 feet of floor area, plus one for each employee on the largest shift. A 15,75 square foot retail establishment will be required to have 63 off-street parking spaces and a 18,520 square foot grocery store\* with 5 employees (self-reported) is required to have 68 off-street parking spaces. They are required to provide a minimum of 131 off-street parking spaces, and their plans show 236. Staff has no concerns with the amount of parking, as the proposed parking lot will be used as overflow parking for IHOP, Primanti Bros. and Abuelos.

*\*parking for grocery stores are in floor area (not gross floor area), which does not include areas such as bathrooms, storage rooms, hallways...etc. It has been the City's standard practice to take gross square footage and reduce it by 15% to establish floor area.*

## **Landscaping**

Included in your packet is a proposed landscape plan. The proposed plan shows the inclusion of several species of shade trees, as well as decorative shrubs and perennials to be used within the interior landscape islands. The linear landscape islands that are parallel to the drive aisles will be seeded with grass. Along the rear mound, the applicant is proposing to add shade trees. Staff has added a condition that these be substituted with white pines to continue the design started by Hobby Lobby, and that they be a minimum of 6 feet tall at planting. The condition also states the shade trees adjacent to the southern and southwest corners of building be a minimum of three inches in diameter at breast height at planting.

## **Signage**

No signage has been included with this application and therefore the applicant is subject to the wall/ground signage conditions found in the original site plan approval in 1993. In that approval the wall sign requirements are as follows:

#38. Wall sign area for each tenant of the shopping center shall be as follows:



- A. Maximum height of sign to be no more than seven (7) feet.
- B. Length not to exceed 2/3 of the length of the building frontage of the tenant's space.
- C. Two square feet of signage shall be permitted for each one linear foot of frontage of the building or storefront of the tenant's space where the main customer door is located.
- D. Maximum square footage shall be restricted to 350 square feet per tenant, subject to the requirement of "C" above.
- E. No tenant signs are allowed on the rear of the building.
- F. The tenant at the south end of the shopping center building may install an additional wall sign on the end wall facing Lakeview Drive but in no event shall the total wall sign area for the tenant exceed 350 square feet.

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If the applicant should want to install a ground sign at the entrance on Lakeview Drive, condition #14 below limits it to 5 feet tall, 32 square feet per sign face, and requires it to be on a brick base.

## **RECOMMENDATION**

Staff recommends approval of the applicant's request, subject to the conditions below.

### **Conditions of Approval**

1. All conditions and requirements of PUD 91-2 and any subsequent modifications remain in full force and effect, unless herein modified
2. The plans dated "Received December 28, 2015" shall be the plans approved for the site plan modification.
3. The plans dated "Received December 28, 2015" shall be the plans approved for the architectural elevations.
4. A PUD Agreement, acceptable to the City, must be signed by the owner and a bond or letter of credit must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the city's landscaping and screening regulations.

5. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit. The final landscape plan shall show the white pines to be planted on the mound to the east of the building be a minimum of six feet tall, and the shade trees planted immediately adjacent the south and southeast corners of the building be a minimum of 3 inch in diameter at breast height (DBH) at the time of planting.
6. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes, as originally planted, within three months, weather permitting.
7. The applicant must obtain a zoning permit issued by the City of Beavercreek prior to construction.
8. There shall not be any scuppers, ladders, and/or coolers and storage areas visible on the exterior of the building, except in the rear (east) of the building.
9. All roof top units and mechanical equipment, including storage and cooling facilities shall be completely screened for public view.
10. All service doors on the building shall be painted to match the color of the building.
11. The dumpster enclosure's gate shall be constructed of a vinyl or composite material, or other material, to be approved by the Planning Department. The gate shall be painted to match the adjacent material.
12. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning Department shall be addressed and approved prior to the release of a zoning permit.
13. No portion of the building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by the prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
14. Wall/ground signage shall be compliant with the conditions found in the original specific site plan approval. Should a ground sign be constructed, it shall be constructed on a brick base using the same brick material as the building, be no taller than 5 feet, shall be a maximum of 32 square feet per sign face, and shall service the entire shopping center, not one specific tenant. The

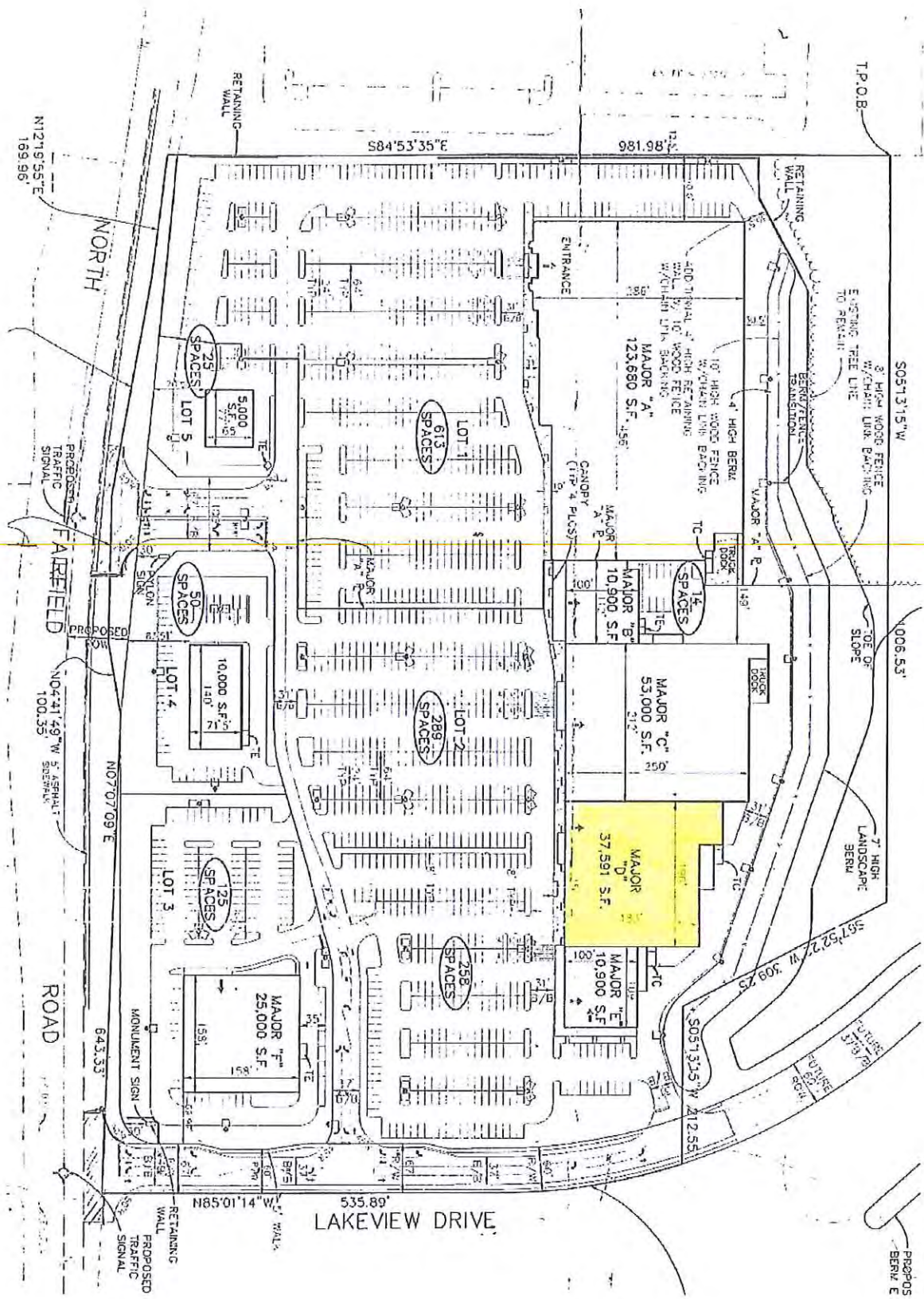
background color of all of the sign panels shall be one consistent color, subject to the approval of the Planning and Zoning Department prior to the issuance of a permit for the sign

15. A Final Subdivision for the area associated with this modification shall be approved by the Planning Commission and recorded with the County prior to the release of a zoning permit for the primary building. Said Replat shall show all appropriate access, utility and cross access easements necessary.











ENGINEER:  
CESO, INC.  
2800 CORPORATE EXCHANGE DR.  
SUITE 160  
COLUMBUS, OHIO 43231  
CONTACT: JEFF TIBBITTS  
PHONE (614) 370-8104  
EMAIL: TIBBITTS@CESOINC.COM

DEVELOPER:  
BSM DEVELOPMENT LLC.  
CONTACT: DAVID A. RUITER  
PHONE: (615) 252-2346

GOVERNING AGENCIES AND UTILITY COMPANIES:  
VARIOUS UTILITIES THAT DO WORK WITHIN VARIOUS PARTS OF THE CITY/COUNTY ARE LISTED BELOW AS AN INITIAL AID TO THE ENGINEER. PLEASE VERIFY LOCAL UTILITIES IN THE VICINITY OF THE SITE AND INCLUDE THEIR CONTACT INFORMATION ON THE PLANS ACCORDING TO THE FOLLOWING FORMAT.

SEWER:  
GREENE COUNTY SANITARY ENGINEERING  
667 DAYTON XENIA RD  
BEAVERCREEK TWP, OH 45385  
PHONE: (937) 562-7450

GAS SERVICE:  
VECTREN OF OHIO  
1335 E. DYTIN YLW SPGS RD.  
FAIRBORN, OH 45324  
PHONE: (800) 227-1376

WATER:  
GREENE COUNTY SANITARY  
ENGINEERING  
667 DAYTON XENIA RD  
BEAVERCREEK TWP, OH 45385  
PHONE: (937) 562-7450

COMMUNICATIONS:  
TW TELECOM INC.  
1 S MAIN ST.  
DAYTON, OH 45402  
PHONE: (937) 228-0165

STORMWATER:  
CITY OF BEAVERCREEK  
ENGINEERING DEPARTMENT  
1368 RESEARCH PARK DR.  
BEAVERCREEK, OH 45432  
PHONE: (937) 427-5513

ELECTRIC:  
DAYTON POWER AND LIGHT  
1065 WOODMAN RD.  
DAYTON, OH 45432  
PHONE: (800) 433-8500

ZONING:  
CITY OF BEAVERCREEK  
ZONING DEPARTMENT  
1368 RESEARCH PARK DR.  
BEAVERCREEK, OH 45432  
PHONE: (937) 427-5512

PROPERTY DATA:

PARCEL OWNER: BARBARA GIGANTE  
PARCEL ID: B4200040060006800  
ADDRESS: THE SHOPPES AT FAIRFIELD COMMONS  
CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

PROPERTY AREA: TOTAL = 12.630 ACRES  
HOBBY LOBBY LEASE AREA = 5.18 ACRES  
ADDITION AREA TO BE REZONED = 1.988 ACRES  
REMAINDER (BSM DEVELOPMENT) = 5.46 ACRES

ZONING: COMMERCIAL PLANNED DEVELOPMENT (C-PUD)

EXISTING USE: VACANT LOT

PROPOSED USE: COMMERCIAL/ RETAIL USE

REQUIRED/ PERMITTED PROPOSED

BUILDING SETBACKS:  
FRONTAGE ALONG STREET: 70' (N. FAIRFIELD RD.) 206'  
40' (LAKEVIEW DR.) 36'

BUFFERS:  
EAST SIDE OF PROPERTY 50' 70'  
ALONG PARKING LOTS AND ROADS 10' 15'

SIGN SETBACKS: N/A N/A

MAXIMUM BUILDING HEIGHT: 70' 33'

BUILDING COVERAGE: 35% 14%

IMPERVIOUS COVERAGE: 75% MAX. 73%

PARKING:  
TOTAL PARKING SPACES: 131 236  
ADA PARKING SPACES: 5 9

PARKING REQUIREMENTS ARE AS FOLLOWS:  
GROCERY STORE: ONE SPACE FOR EACH 250 SQUARE FEET OF FLOOR AREA, PLUS ONE SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT (ASSUMED TO BE 5 EMPLOYEES.)  
18,520 / 250 = 74, PLUS EMPLOYEES = 79. 15% REDUCTION = 68

RETAIL: ONE SPACE FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA.  
15,750 / 250 = 63

NOTE - 15% REDUCTION IN FLOOR AREA PERMITTED BY CODE WHEN PROVIDING EMPLOYEE PARKING AREA. THIS APPLIES TO GROCERY CALCULATIONS ONLY. FLOOR AREAS NOTED IN PARKING CALCULATION ABOVE ACCOUNT FOR THIS REDUCTION.

FLOODPLAIN DESIGNATION: PER FEMA'S FLOOD MAP SERVICE, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39057C0018D, WHICH BEARS AN EFFECTIVE DATE OF MARCH 17, 2011.

# BEAVERCREEK

## BSM DEVELOPMENT

### COMMERCIAL LAND DEVELOPMENT PLAN

### AT THE SHOPPES AT FAIRFIELD COMMONS

### CITY OF BEAVERCREEK, GREENE COUNTY

### OH, 45431

SHEET INDEX	
SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.0	SITE LIGHTING PLAN



LOCATION MAP  
NOT TO SCALE

RECEIVED

DEC 28 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

SURVEY PROVIDED BY:  
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
5899 MONTCLAIR BLVD.  
CINCINNATI, OHIO 45150  
PHONE: (513) 955-0229  
CONTACT: MICHAEL J. WILSON  
DATED: AUGUST 15, 2015

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1/800/362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE



NOT FOR  
CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
NO.		

TITLE SHEET

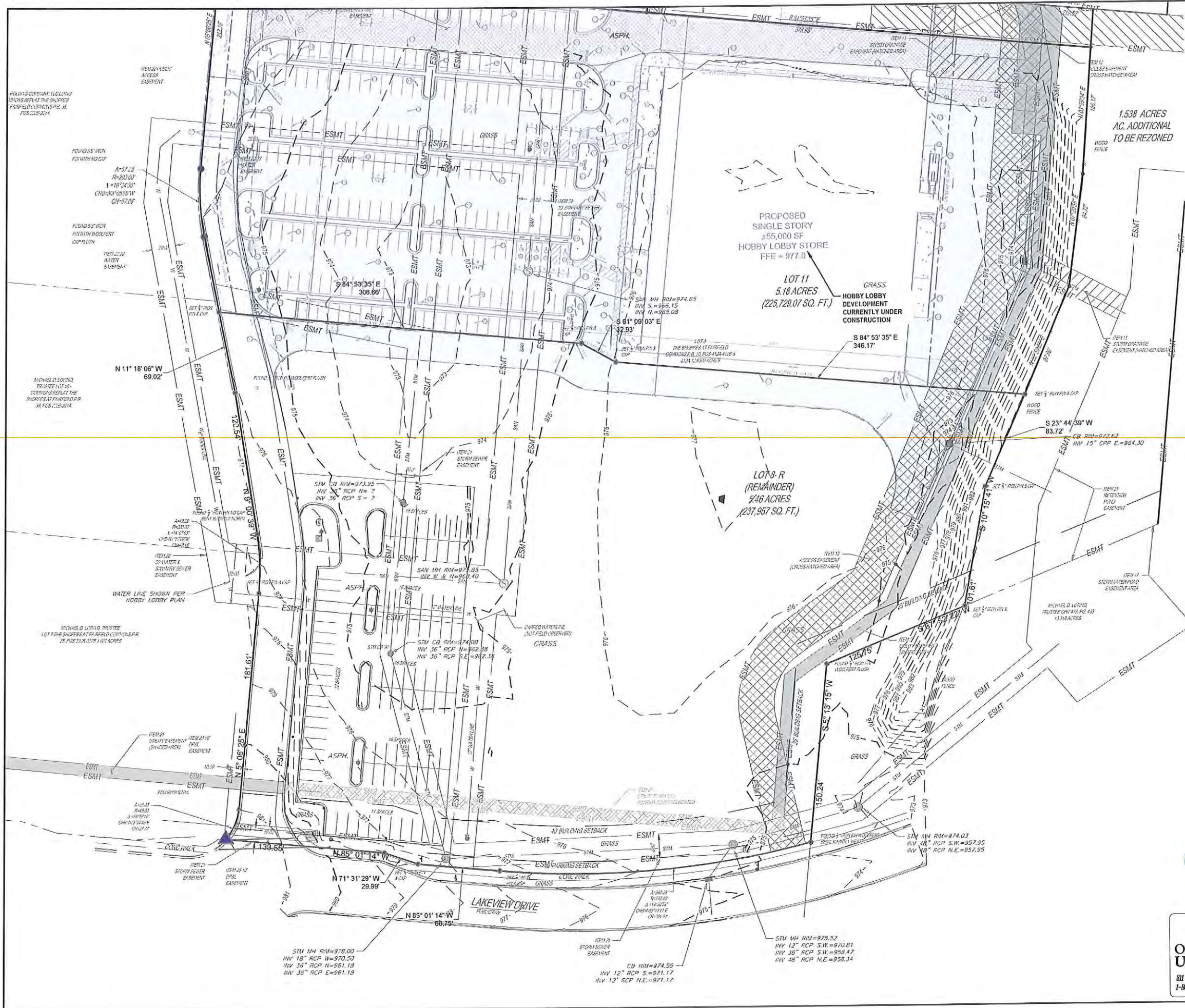
BSM DEVELOPMENT

OH

BEAVERCREEK

ISSUE:  
PLANNING  
DATE:  
12/28/2015  
JOB NO.: 751510  
DESIGN: NBH  
DRAWN: NBH  
CHECKED: ZDF  
SHEET NO.  
C1.0





LEGEND  
EXISTING

- PAVEMENT MARKINGS
- CURB GUTTER
- FRONT OF CURB
- BACK OF CURB
- EDGE OF CONCRETE
- PROPERTY LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SANITARY SEWER
- DOMESTIC WATER SERVICE LINE
- GAS SERVICE LINE
- OVERHEAD ELEC. LINE
- UNDERGROUND ELEC. LINE
- UNDERGROUND TEL. LINE
- HYDRANT
- WATER VALVE
- POWER/TELEPHONE POLE
- POWER POLE
- TELEPHONE POLE
- GUY WIRE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM MANHOLE
- CATCH BASIN
- GAS VALVE
- SIGN

NOT FOR  
CONSTRUCTION



EXISTING CONDITIONS

BSM DEVELOPMENT

BEAVERCREEK

RECEIVED

DEC 28 2015

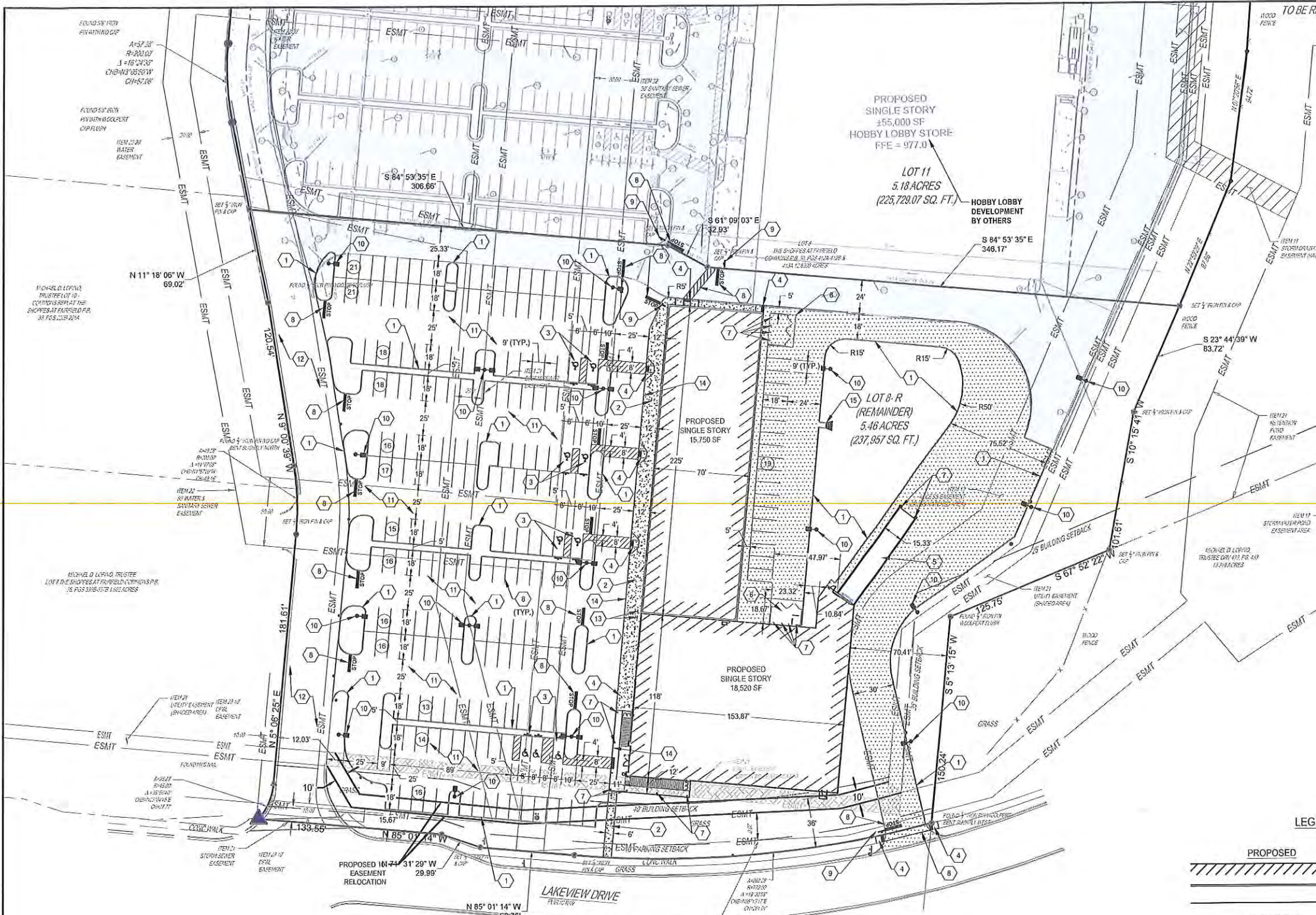
CITY OF BEAVERCREEK  
PLANNING DEPARTMENT



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

ISSUE:	PLANNING
DATE:	12/28/2015
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DESIGN:	NBH
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SHEET NO.	C2.0





**SITE GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF BEAVERCREEK, ODOT AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE MEASURED TO THE FACE OF CURB OR FACE OF BUILDING, WHERE APPLICABLE.
3. REFER TO CONSTRUCTION DETAILS/ GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
4. ALL LIGHTPOLES TO BE LOCATED 2' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), ODOT ITEM 614.
6. CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
7. CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS. AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL PROVIDE SAFETY RAILINGS AT ALL AREAS WHERE FALL PROTECTION IS REQUIRED.
8. ALL SIGNAGE SHALL COMPLY WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (O.M.U.T.C.D.)
  - a. STOP SIGN (R1-1 PER SECTION 28.06 O.M.U.T.C.D.)
7. ALL PAVEMENT MARKINGS AND STRIPING SHALL COMPLY WITH ODOT ITEM 641 AND OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (O.M.U.T.C.D.)
  - a. LANE LINE: 6" WHITE (PER SECTION 38.04 O.M.U.T.C.D.)
  - b. PARKING STALLS: 4" WHITE (PER SECTION 38.18 O.M.U.T.C.D.)
  - c. STOP LINE: 12" WHITE (PER SECTION 38.16 O.M.U.T.C.D.)
  - d. CROSSWALKS: TRANSVERSE LINES WITH DIAGONAL MARKINGS PER SECTION 38.17 (GAP BETWEEN TRANSVERSE LINES SHALL BE 4') ALL PAINTED WHITE.
8. BOLLARDS SHALL BE PLACED TO PROTECT GAS METER, ELECTRICAL AND TELEPHONE EQUIPMENT, AND DUMPSTER ENCLOSURE.

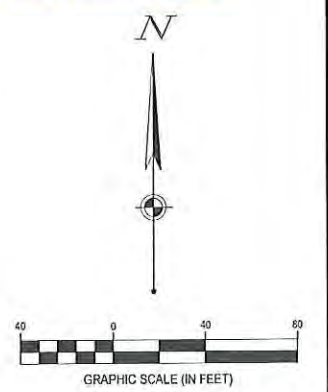
**CODED NOTES:**

1. STRAIGHT CURB.
2. CONCRETE SIDEWALK.
3. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS.
4. ADA ACCESSIBLE RAMP WITH DETECTIBLE WARNING STRIP. REFER TO CONSTRUCTION DETAILS.
5. LOADING DOCK. SEE ARCHITECTURAL PLANS FOR DETAILS.
6. DUMPSTER PER LOCAL REGULATIONS.
7. CONCRETE BOLLARD.
8. PARKING LOT PAVEMENT MARKINGS.
9. R1-1 'STOP' SIGN.
10. PROPOSED LIGHT POLE.
11. LIGHT DUTY ASPHALT PAVEMENT.
12. MILL AND OVERLAY EXISTING SHARED ACCESS DRIVEWAY.
13. BIKE RACKS (2 SPACES)
14. FIRE LANE CURB TO BE PAINTED YELLOW AND APPROPRIATE NO PARKING SIGNAGE TO BE INSTALLED.
15. PROPOSED CONCRETE FLUME WITH RIP RAP.

**LEGEND**

- |  |                                       |
|--|---------------------------------------|
|  | PROPOSED BUILDING                     |
|  | CONCRETE CURB                         |
|  | PAVEMENT/WALK                         |
|  | PROPOSED HEAVY DUTY ASPHALT PAVEMENT. |
|  | PROPOSED CONCRETE SIDEWALK            |
|  | PARKING SPACE COUNT                   |
|  | SIGN                                  |
|  | DETECTABLE WARNING MAT.               |
|  | LIGHT POLE                            |

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**CITY OF BEAVERCREEK**  
**PLANNING DEPARTMENT**



**OHIO**  
**Utilities Protection**  
**SERVICE**  
811 or 1-800-362-2764 Call Before You Dig

FORTY-THREE (43) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

REVISIONS		DESCRIPTION
NO.	DATE	

**NOT FOR CONSTRUCTION**

**ceso**  
**CREATION TO COMPLETION**  
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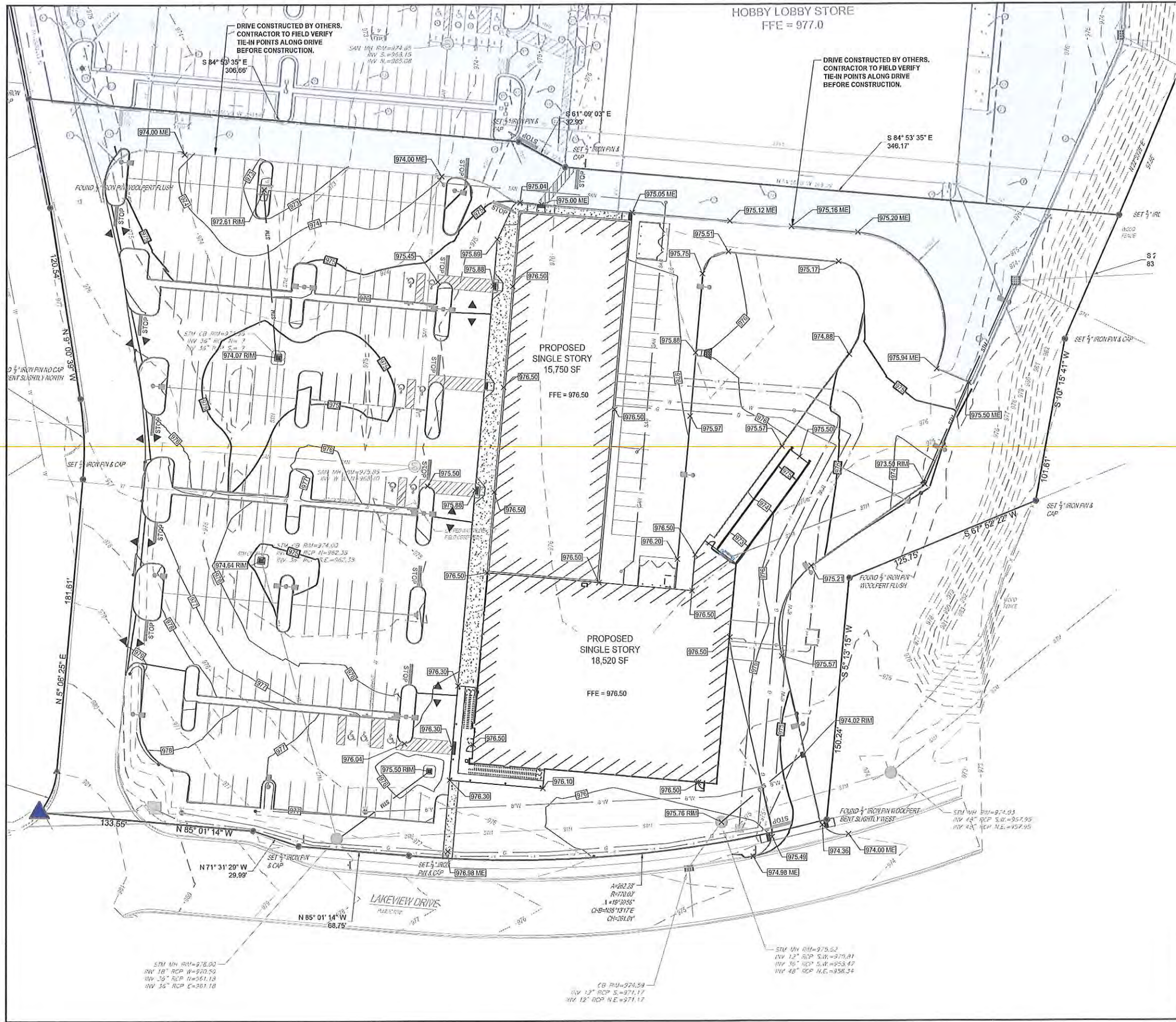
**SITE PLAN**

**BSM DEVELOPMENT**

**BEAVERCREEK**

ISSUE: PLANNING  
DATE: 12/28/2015  
JOB NO.: 751510  
DESIGN: NBH  
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GRADING GENERAL NOTES

1. CONTRACTOR SHALL CONSTRUCT SIDEWALKS SUCH THAT 2% IS THE MAXIMUM CROSS SLOPE, AND 5% IS THE MAXIMUM TRANSVERSE SLOPE, AND CURB RAMPS SHALL BE CONSTRUCTED PER ODOTS DETAILS, AND THE MAXIMUM SLOPES SHALL NOT BE EXCEEDED. FORMS SHALL BE PLACED FOR SIDEWALK AREA, AND THE SLOPES ARE TO BE VERIFIED PRIOR TO PLACING CONCRETE. IF SLOPES BECOME AN ISSUE, CONTRACTOR SHALL CONTACT THE ENGINEER.
2. CURB AND GUTTER SHALL PITCH OUT WHERE GRADING IS SLOPED AWAY FROM THE CURB AND SHALL PITCH IN WHEN GRADING IS SLOPED TOWARDS THE CURB. THE PITCH OF THE GUTTER SHALL MATCH PARKING LOT GRADES.
3. CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ADA ACCESSIBLE/HANDICAPPED PARKING LOT AREA.

LEGEND

EXISTING

REFER TO EXISTING CONDITIONS PLAN

PROPOSED

- BUILDING
- MAJOR CONTOUR
- MINOR CONTOUR
- BREAK LINE
- FLOW LINE
- STRUCTURE NUMBER
- CATCH BASIN
- STORM MANHOLE
- SPOT ELEVATION
- EXISTING ELEVATION
- MATCH EXISTING ELEVATION

NOTE: REFER TO CONSTRUCTION DETAILS SHEET

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DEC 28 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

GRAPHIC SCALE (IN FEET)



Forty-eight (48) hours before digging is to commence, the contractors shall notify the following agencies: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

REVISIONS	NO.	DATE	DESCRIPTION

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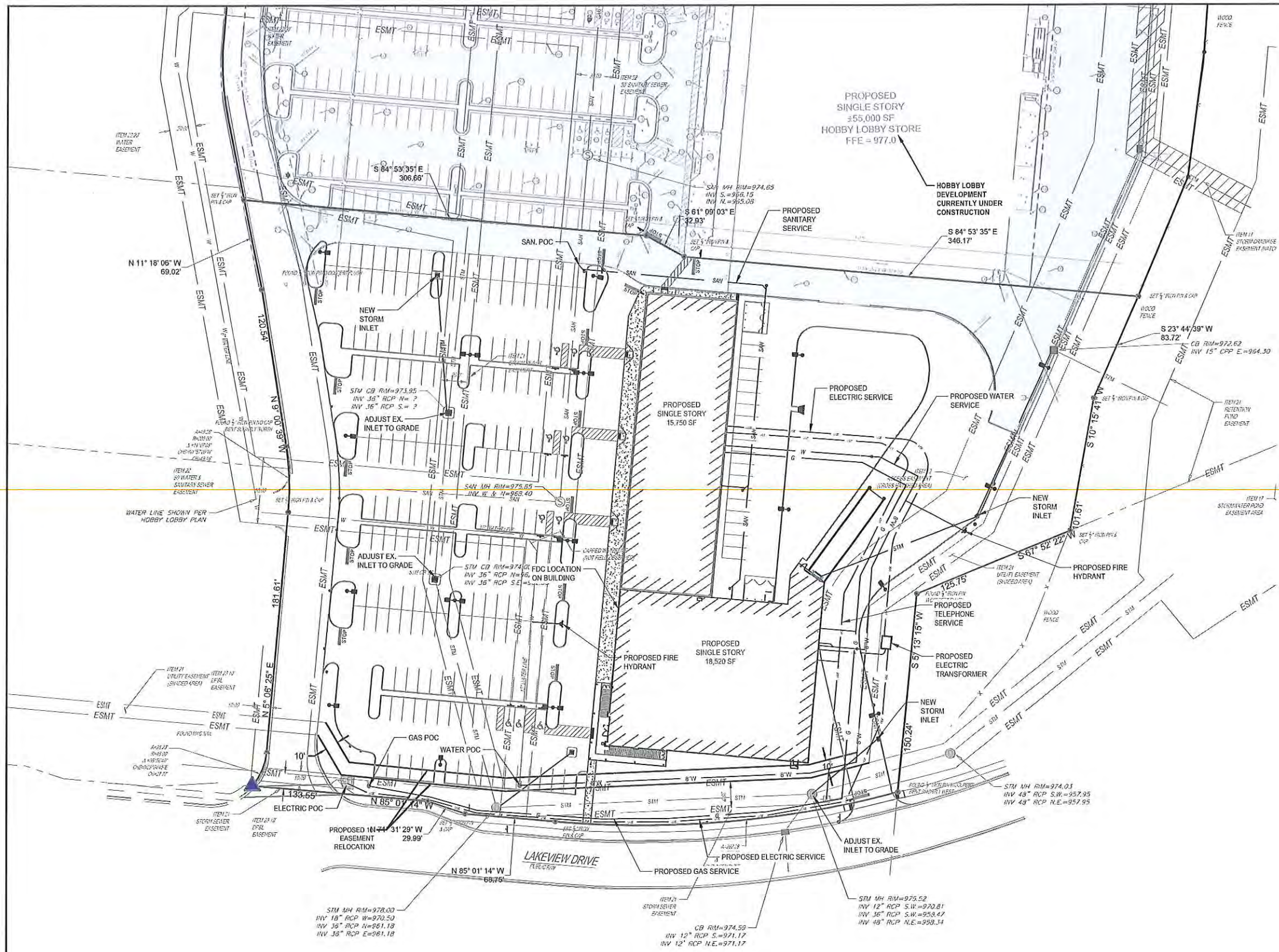
GRADING PLAN

BSM DEVELOPMENT

BEAVERCREEK OH

ISSUE:	PLANNING
DATE:	12/28/2015
JOB NO.:	751510
DESIGN:	NBH
DRAWN:	NBH
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SHEET NO.	C4.0





**LEGEND**

EXISTING  
REFER TO EXISTING CONDITIONS PLAN

PROPOSED

Building	CONCRETE CURB
PAVEMENT/WALK	STORM SEWER LINE
SANITARY SEWER LINE	DOMESTIC WATER SERVICE LINE
GAS SERVICE LINE	OVERHEAD ELEC. LINE
UNDERGROUND ELEC. LINE	UNDERGROUND TEL. LINE

CATCH BASIN  
STORM MANHOLE  
SANITARY CLEANOUT  
ELECTRICAL TRANSFORMER PAD  
FIRE HYDRANT  
WATER VALVE  
POINT OF CONNECTION

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DEC 28 2015  
CITY OF BEAVERCREEK  
PLANNING DEPARTMENT



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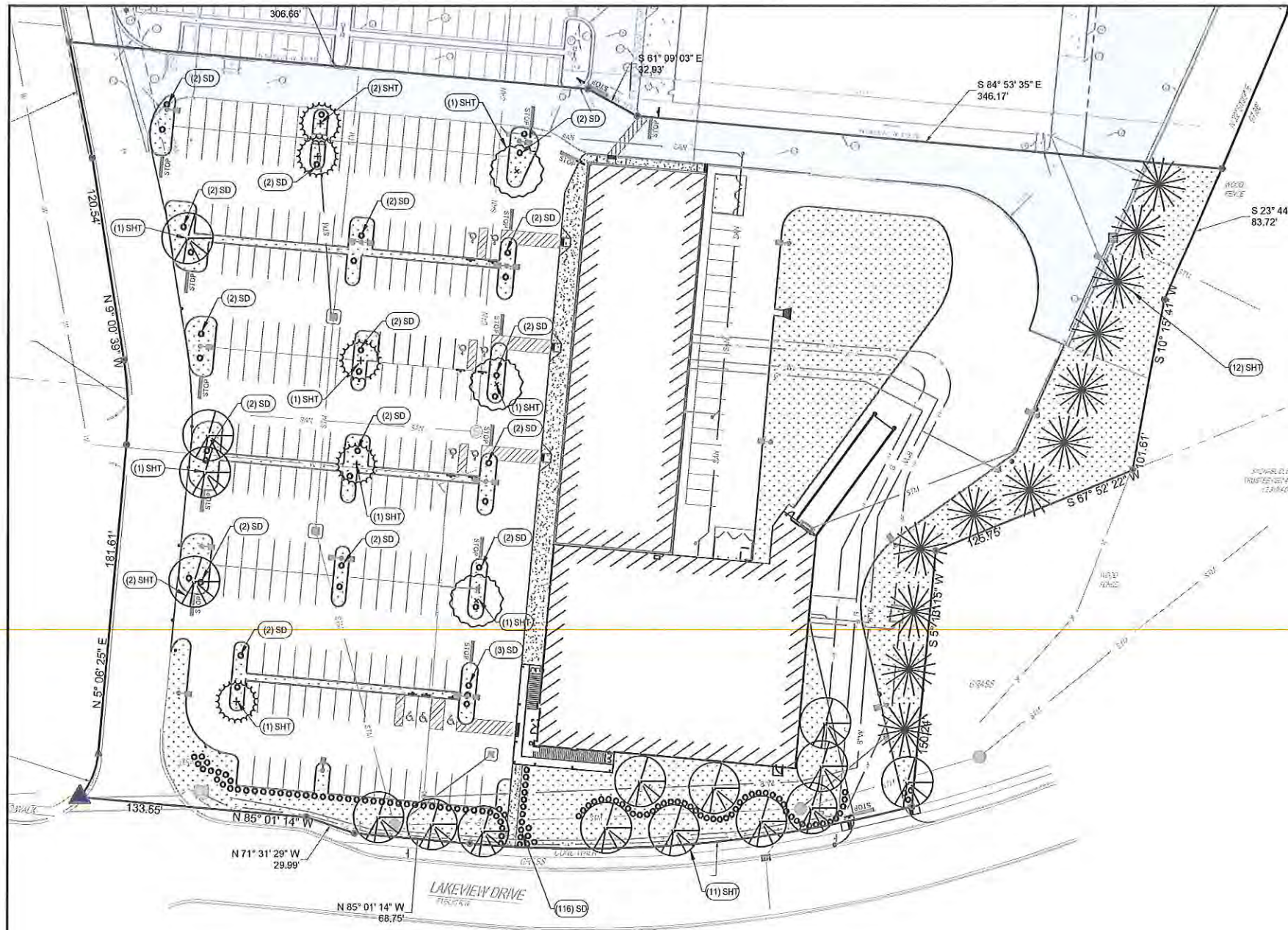
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UTILITY PLAN  
BSM DEVELOPMENT  
BEAVERCREEK  
OH

ISSUE: PLANNING  
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SHEET NO. C5.0





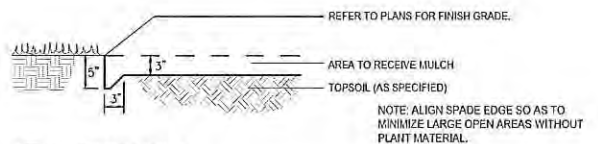
#### LEGEND

##### EXISTING

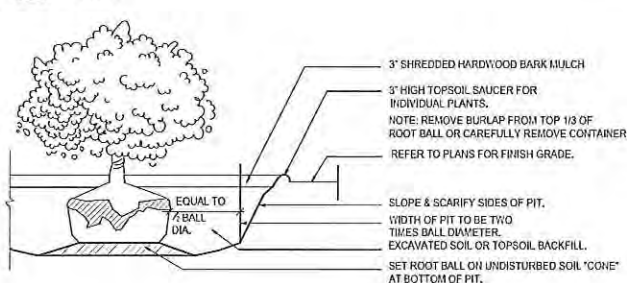
REFER TO EXISTING CONDITIONS PLAN

##### PROPOSED

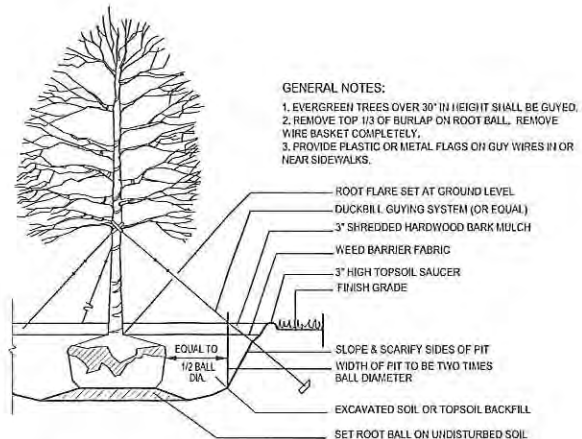
- SHRUB (SD)
- (15) SHADE TREE (SHT) (SPECIES TO BE DETERMINED)
- (3) SHADE TREE (SHT) (SPECIES TO BE DETERMINED)
- (5) SHADE TREES (SHT) (SPECIES TO BE DETERMINED)
- (12) SHADE TREES (SHT) (SPECIES TO BE DETERMINED)
- GRASS AREA



1 SPADE EDGE  
NO SCALE



2 SHRUB PLANTING  
NO SCALE



3 TREE PLANTING  
NO SCALE

#### PLANTING NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTH AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXISTS, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.

#### TOPSOIL AND SOD NOTES:

- ALL DISTURBED AREAS SHALL RECEIVE SOD. SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE.
- SOD SHALL BE INSTALLED ON A MIN. OF 3" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/CM. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

#### PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE NORTHERN NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER/CONSTRUCTION MANAGER. THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE MUNICIPALITY AND OWNER.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTH AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE.

- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION.
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#### IRRIGATION NOTES:

- ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATIONS SYSTEM. THE GC SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE GC SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

#### LANDSCAPE REQUIREMENTS

- OVERALL TREE COUNT REQUIREMENT = OPEN SPACE SQFT / 2000 SQFT  
PROVIDED OPEN SPACE = 55,080 SQFT  
REQUIRED TREE COUNT = 28  
PROVIDE TREE COUNT = 35
- FRONTAGE REQUIREMENT (ALONG LAKEVIEW) = (1) SHADE TREE AND 10 SHRUBS PER 35 LF OF FRONTAGE (EXCLUDING DRIVE OPENINGS)  
FRONTAGE (ALONG LAKEVIEW) = 405 LF  
TREE REQUIREMENT = 12, PROVIDED = 12  
SHRUB REQUIREMENT = 116, PROVIDED = 116
- INTERIOR LOT REQUIREMENT = MIN. 4% OF VEHICULAR USE AREA. 2 TREES WITHIN 60FT OF EVERY SPACE.  
VEHICULAR USE AREA = 84,421 SQFT  
INTERIOR LOT OPEN SPACE = 8,500 SQFT (PROVIDED - 10%)

#### GENERAL NOTES:

- EVERGREEN TREES OVER 30" IN HEIGHT SHALL BE GUYED.
- REMOVE TOP 1/3 OF BURLAP ON ROOT BALL. REMOVE WIRE BASKET COMPLETELY.
- PROVIDE PLASTIC OR METAL FLAGS ON GUY WIRES IN OR NEAR SIDEWALKS.

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CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

OHIO  
Utilities Protection  
SERVICE  
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1-800-362-2764  
Call Before You Dig

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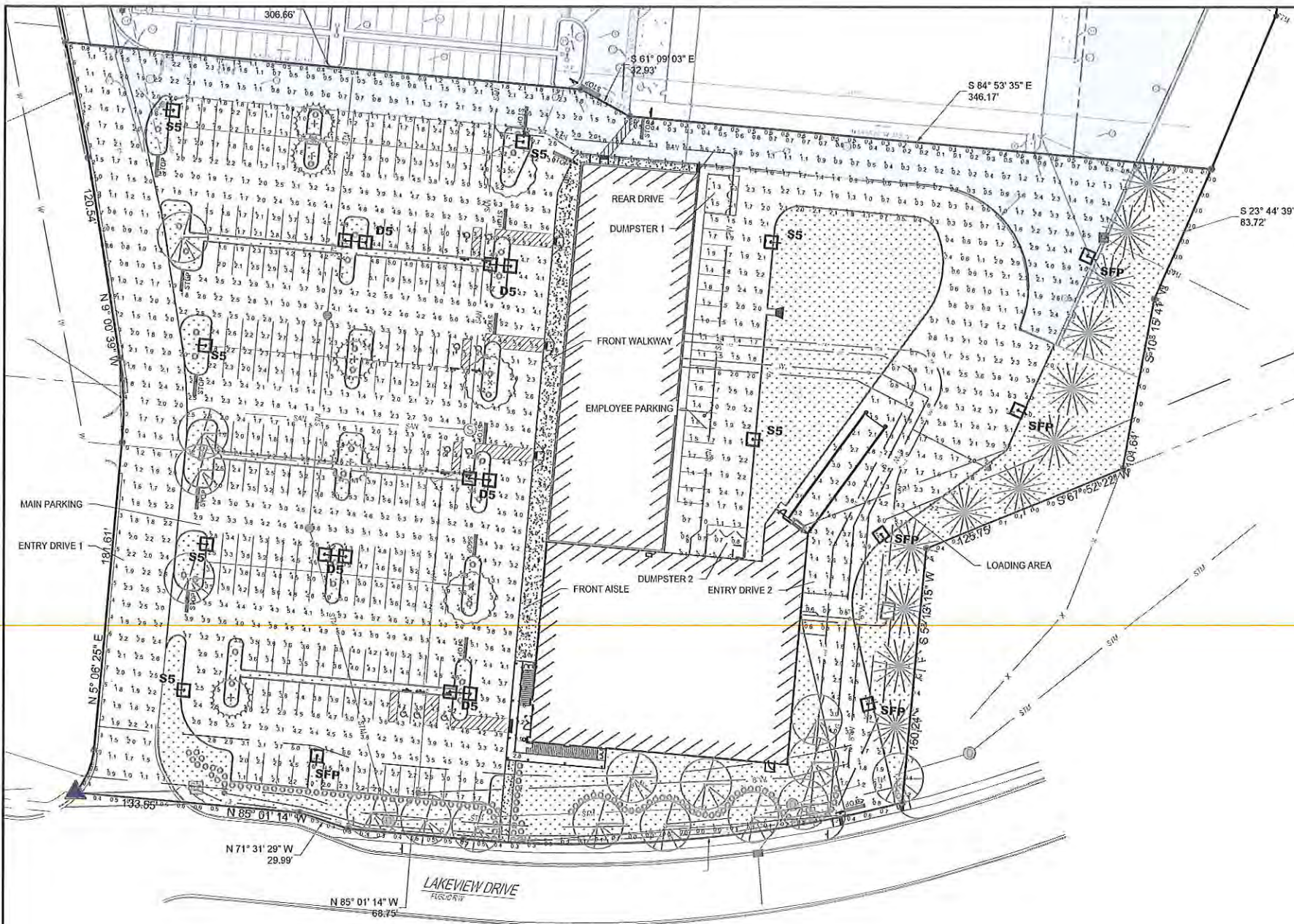
LANDSCAPE PLAN

BSM DEVELOPMENT

BEAVERCREEK




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C6.0





Calculation Summary Illuminance Foot-candles					
Label	Avg	Max	Min	Avg/Min	Max/Min
Dumpster 1	1.71	2.3	1.3	1.32	1.77
Dumpster 2	0.88	1.7	0.4	2.20	4.25
Employee Parking	1.75	2.5	1.0	1.75	2.50
Entry Drive 1	1.69	3.3	0.5	3.38	6.60
Entry Drive 2	2.32	6.1	0.6	3.87	10.17
Front Aisle	3.76	5.6	2.3	1.63	2.43
Front Walkway	3.42	5.0	2.2	1.55	2.27
Horz Spill Prop Line @ Grade	0.61	2.3	0.0	N.A.	N.A.
Loading Area	2.45	6.8	0.6	4.08	11.33
Main Parking	3.55	6.7	1.0	3.55	6.70
Rear Drive	1.22	6.5	0.1	12.20	65.00

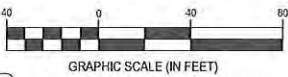
PROPERTY LINE CALC POINTS ABOVE 1.0fc MAX. PER CITY ORDINANCE BENEFICIAL TO ADJACENT COMMERCIAL DEVELOPMENTS.

Luminairo Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Mounting Height	Arr. Watts	Arr. Lum. Lumens	BUG Rating
	5	D5	BACK-BACK	1.000	GFM-5-400-PSMVR-F-__	28 FEET	904	52274	B5-U0-G3
	7	S5	SINGLE	1.000	GFM-5-400-PSMVR-F-__	28 FEET	452	26137	B5-U0-G3
	5	SFP	SINGLE	1.000	GFM-FP-400-PSMVR-F-__	28 FEET	452	19628	B2-U0-G3

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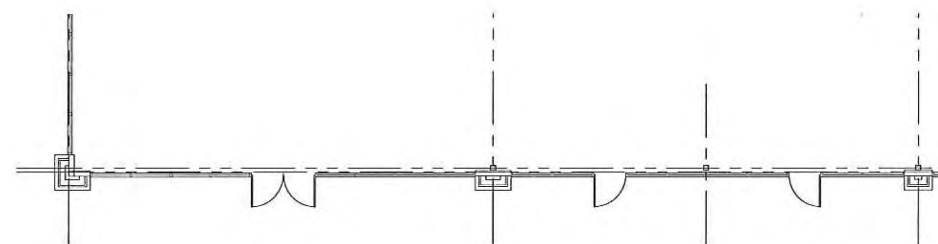
SITE LIGHTING PLAN  
BSM DEVELOPMENT  
BEAVERCREEK

ISSUE:  
PLANNING  
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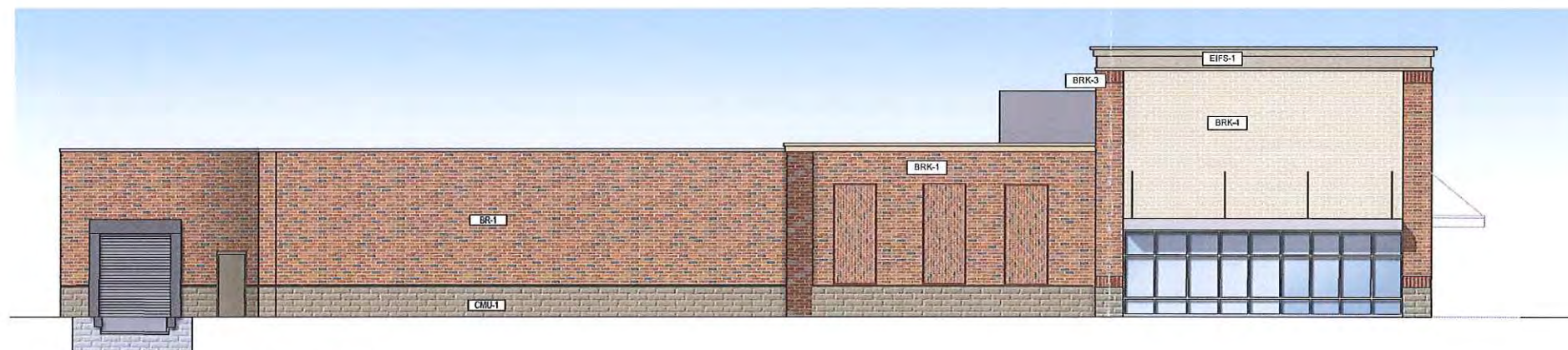
WEST ELEVATION (FRONT SHOPS)



FLOOR PLAN (FRONT SHOPS)



WEST ELEVATION (FRONT ALDI)



NORTH ELEVATION (SIDE SHOPS)

EXTERIOR MATERIAL LEGEND	
(SEE SPEC FOR MANUFACTURER & MATERIALS)	
EIFS-1	SW 6150 UNIVERSAL KHAKI
BRK-1	BRICK VENEER - ACCENT BRICK - HANSON 'MOULTRE VISTA' 556 (CONFIRM FINAL ANCHOR BRICK)
BRK-2	BRICK VENEER - FIELD BRICK - HANSON 'OLD WILLIAMSBURG' 630 (CONFIRM FINAL FIELD BRICK)
BRK-3	ACME BRICK 'HARVARD 65'
BRK-4	ACME THIN BRICK 'DESERT TAN'
BRK-5	ACME THIN BRICK '661 VELOUR'
SF-1	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM
AWING-1	SUNBRELLA CANVAS AWNING 'FERBY'
AWING-2	SUNBRELLA CANVAS AWNING 'BLACK'
AWING-3	ALUMINUM CANOPY - COLOR TO MATCH ALDI'S SIGNAGE FIELD.
CMU-1	8" SPLIT-FACE CMU - COLOR PT-1
CMU-2	4" SPLIT-FACE CMU - COLOR PT-1
PT-1	BENJAMIN MOORE - COLOR TO MATCH BUILDING 'X' CMU WATERTABLE



OVERALL WEST ELEVATION (REDUCED SCALE)

ARCHITECT:



Beavercreek, OH  
12.28.2015 - ELEVATIONS CONCEPT - A - NOT TO SCALE

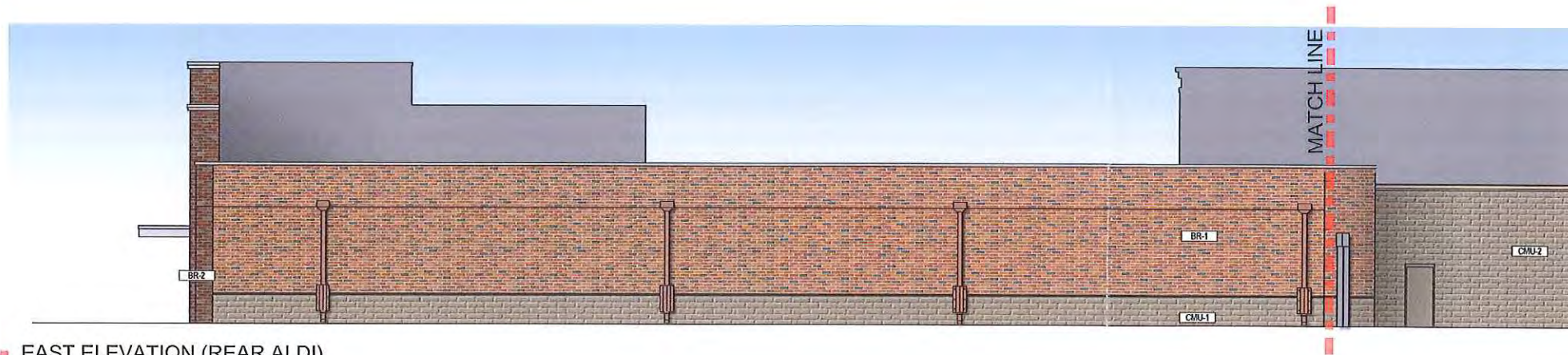


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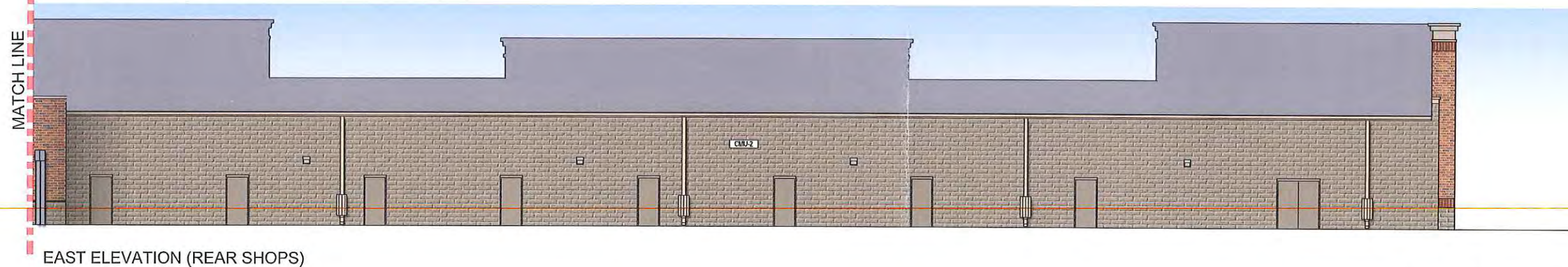
DEC 28 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

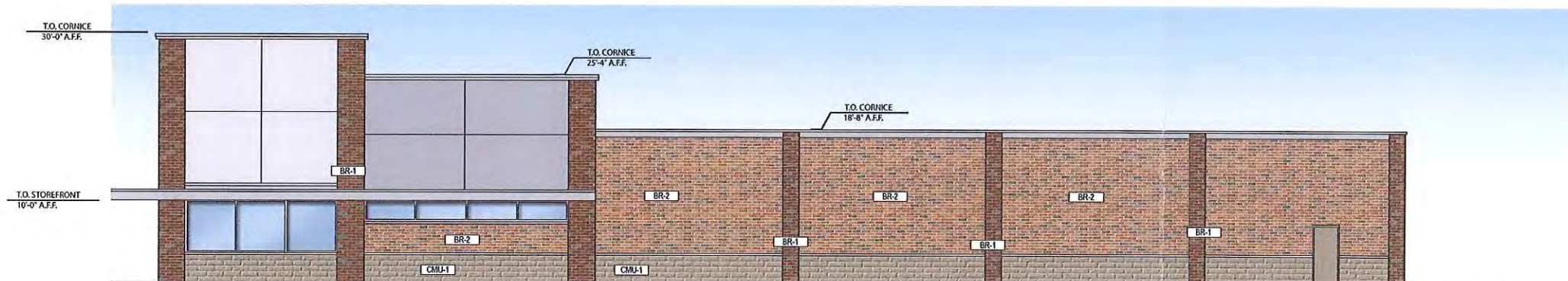




EAST ELEVATION (REAR ALDI)



EAST ELEVATION (REAR SHOPS)



SOUTH ELEVATION (SIDE OF ALDI)

EXTERIOR MATERIAL LEGEND	
(SEE SPECIFICATIONS MANUFACTURER'S MATERIALS)	
EFS-1	SY 6150 UNIVERSAL KHAKI
BRK-1	BRICK VENEER - ACCENT BRICK - HANSON "MOULTRE VISTA" 556 (CONFIRM FINAL ANCHOR BRICK)
BRK-2	BRICK VENEER - FIELD BRICK - HANSON "OLD WILLIAMSBURG" 630 (CONFIRM FINAL FIELD BRICK)
BRK-3	ACME BRICK "HARVARD 65"
BRK-4	ACME THIN BRICK "DESERT TAN"
BRK-5	ACME THIN BRICK "661 VELOUR"
S.F-1	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM
AWING-1	SUNBRELLA CANVAS AWNING "FERN"
AWING-2	SUNBRELLA CANVAS AWNING "BLACK"
AWING-3	ALUMINUM CANOPY - COLOR TO MATCH ALDI'S SIGNAGE FIELD.
CMU-1	8" SPLIT-FACE CMU - COLOR PT-1
CMU-2	4" SPLIT-FACE CMU - COLOR PT-1
PT-1	BENJAMIN MOORE - COLOR TO MATCH BUILDING "A" CMU WATERTABLE



OVERALL EAST ELEVATION (REDUCED SCALE)

RECEIVED

DEC 28 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT



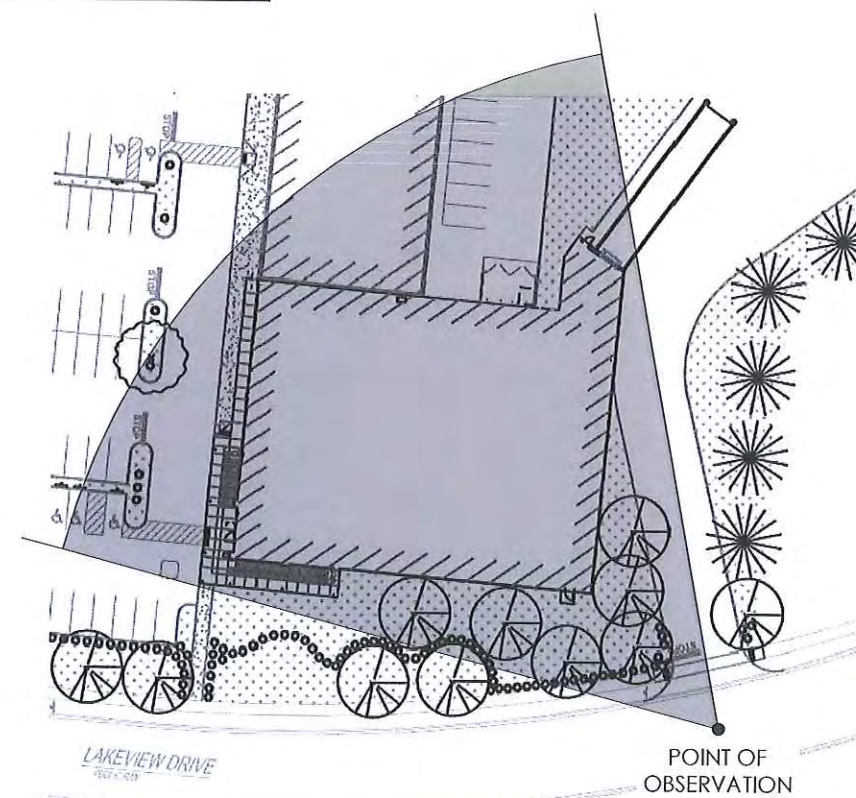
Beavercreek, OH  
12.28.2015 - ELEVATIONS CONCEPT - A - NOT TO SCALE







2 Line of Sight from Lakeview Drive  
SCALE: NTS





1 Partial Site Plan  
SCALE: NTS



RECEIVED

DEC 28 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

Issued:		Date:	
A	Issued for Client Review	12/22/15	
B	Issued for Client Review	12/23/15	
C			
D			
Revisions:		Date:	
1			
2			
3			
4			
5			
Seal		Seal	
PROJECT ARCHITECT/ENGINEER		DATE	
PROJECT LEAD		DATE	
PROJECT DESIGNER		DATE	
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<p> <b>APD ENGINEERING &amp; ARCHITECTURE, PLLC</b> 615 Fishers Run Victor, NY 14564 585.742.2222 585.924.4914 fax www.apd.com</p>			
<p> <b>ALDI Inc.</b> 4400 S. Charleston Pike Springfield, OH 45502 (937) 323-5500 (937) 223-0033 fax</p>			
<p>ALDI Inc. Store #: XX Beavercreek, OH N. Fairfield Rd &amp; Lakeview Rd. Beavercreek, OH 45431 Greene County Project Name &amp; Location:</p>			
Line of Sight Study			
Drawing Name:		Project No.	
Date:	Date	15-0255A	
Type:	LHSD-V7		
Drawn By:	JDB	LOS-1	
Scale:	As Noted	Drawing No.	



December 22, 2015

**STAFF REPORT  
REPLAT REQUEST  
SHOPPES AT FAIRFIELD COMMONS  
CASE NO. S 16-1**

**APPLICANT:** CESO, Inc  
2800 Corporate Exchange Drive  
Columbus OH 43231

**ENGINEER/  
SURVEYOR:** CEC Inc.  
5899 Montclair Blvd,  
Cincinnati, OH 45150

**I. NATURE OF REQUEST**

The applicant is requesting approval of a replat of Lot 8R, which is 7.45 acres within the Shoppes at Fairfield Commons subdivision.

**II. DISCUSSION**

Approval is being sought for a replat of the Shoppes at Fairfield Commons in order to delineate the portion of the existing Lot 8R that will be sold to accommodate the future multi-tenant retail building that has also been included to be heard within this packet. This new lot, 8S, will contain 5.46 acres. The remainder lot, 8T, consisting of 1.99 acres will be replatted in the future and combined with the previously approved Village at Stone Falls expansion.

All access easements and cross parking easements throughout the subdivision will continue to exist and will be carried over to these newly created lots. Impact fees will be required prior to any new construction on lot 8S.

Comments were received from the various area agencies, utilities, and city departments commonly included in reviewing proposed plans during the record plan review process. The applicant has received approval or conditional approval from all entities that submitted comments.





### **III. RECOMMENDATION**

Staff recommends approval of this final subdivision request subject to the following conditions, which must be addressed prior to release of the record plan:

1. The approved record plan shall be the plan stamped "Received December 4, 2015", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.
4. All access, parking, and utility easements shall remain in full force and effect.

\\syr-columbus\projects\2015\152-1671-Survey\Drawings\152167-SV02-Replat Survey.dwg[REPLAT 10P2] LS:(12/02/2015 - mike.wilson) - LP: 12/12/2015 1:47 PM

DEDICATION

WE THE UNDERSIGNED, BEING ALL THE OWNERS AND LIENHOLDERS OF THE LAND HEREIN PLATTED DO HEREBY ACKNOWLEDGE THE MAKING AND SIGNING OF THE SAME TO BE OUR VOLUNTARY ACT AND DEED AND OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES , AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY OR ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS TO AND EGRESS FROM THE PREMISES FOR SAID PURPOSES AND ARE TO MAINTAINED AS SUCH FOREVER.

SIGNED AND ACKNOWLEDGE  
IN THE PRESENCE OF:

OWNER:

WITNESS: \_\_\_\_\_

BY: \_\_\_\_\_

PRINT: \_\_\_\_\_

ITS: \_\_\_\_\_

WITNESS: \_\_\_\_\_

PRINT: \_\_\_\_\_

State of \_\_\_\_\_)

County of \_\_\_\_\_)

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2015, before me the undersigned, a Notary Public in and for said County and State, personally came \_\_\_\_\_ and acknowledged the signing and execution of the within plat to be his voluntary act and deed.

IN TESTIMONY WHEREOF, I hereunto set my hand and notary seal on the day and date above written.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

SURVEYORS CERTIFICATION

I hereby certify that this plat of survey is a correct representation of a field survey performed by Civil & Environmental Consultants, Inc on November 13, 2015 under my direction. I further certify that all monuments have been set or found as indicated.

Michael Jay Wilson P.S.  
Ohio Professional Surveyor #8281

Date

ACCEPTANCE AND APPROVALS

THIS PLAT APPROVED BY THE PLANNING COMMISSION OF THE CITY OF BEAVERCREEK, OHIO THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

PLANNING DIRECTOR \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

TRANSFERRED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

GREEN COUNTY AUDITOR \_\_\_\_\_

FILE NO: \_\_\_\_\_

FEE: \_\_\_\_\_ PLAT CABINET VOLUME \_\_\_\_\_ PAGES \_\_\_\_\_

RECEIVED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

AT: \_\_\_\_\_ RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

SIGNED AND ACKNOWLEDGE  
IN THE PRESENCE OF:

MORTGAGE:

WITNESS: \_\_\_\_\_

BY: \_\_\_\_\_

PRINT: \_\_\_\_\_

ITS: \_\_\_\_\_

WITNESS: \_\_\_\_\_

PRINT: \_\_\_\_\_

State of \_\_\_\_\_)

County of \_\_\_\_\_)

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2015, before me the undersigned, a Notary Public in and for said County and State, personally came \_\_\_\_\_ and acknowledged the signing and execution of the within plat to be his voluntary act and deed.

IN TESTIMONY WHEREOF, I hereunto set my hand and notary seal on the day and date above written.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

RECEIVED

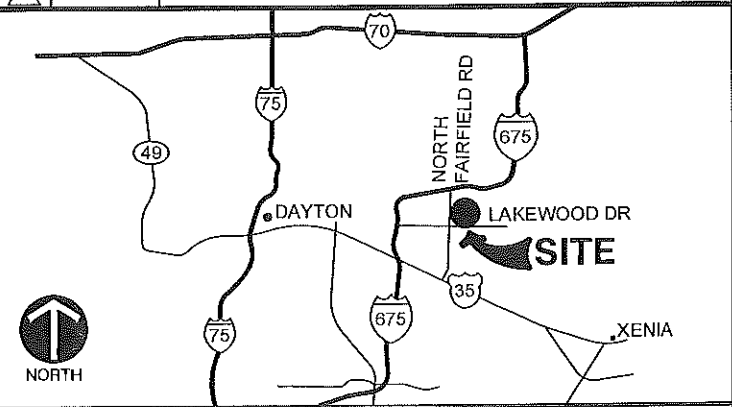
DEC 04 2015

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

SUBMITTAL & REVISION RECORD

NO DATE DESCRIPTION

△



VICINITY MAP

NOT TO SCALE



Civil & Environmental Consultants, Inc.

333 Baldwin Road · Pittsburgh, PA 15205  
412-429-2324 · 800-365-2324  
www.cecinc.com

REPLAT OF LOT 8-R  
SECTION 34, TOWN 3 RANGE 7 M.Rs.

Situate In  
CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO  
Made For

THE SHOPPES AT FAIRFIELD COMMONS  
AS RECORDED IN P.B. 38, Pgs. 62A-64A  
BEAVERCREEK, OHIO

DATE: 12/03/2015	SCALE: N/A	DRAWING NO.: SV02
DRAWN BY: MJW	CHECKED BY: DRAFT	SHEET 1 OF 2
PROJECT NO: 152-167	APPROVED BY: DRAFT	





## SUBMITTAL &amp; REVISION RECORD

NO	DATE	DESCRIPTION
△		

## SURVEYORS NOTES:

OCCUPATION IN GENERAL MATCHED THE SURVEY

MONUMENTS FOUND ARE IN GOOD CONDITION UNLESS NOTED OTHERWISE

BASES OF BEARINGS - THE SHOPPES AT FAIRFIELD COMMONS REPLAT OF LOTS 2, 3, AND 4 AS RECORDED IN P.B. 30, PGS 412A-B &amp; 413A

SOURCE DOCUMENTS USED AS SHOWN

HORIZONTAL DATUM - U.S. STATE PLANE, NAD83 OHIO SOUTH (3402), ESTABLISHED FROM A STATIC OBSERVATION AND POST PROCESSED UTILIZING NGS OPUS SOLUTION USING BASE STATIONS DI1684 OHFA Fayette County CORS ARP; DI1878 OHCL Clark County CORS ARP; DI 1882 OHPR Preble County CORS ARP. STATE PLANE COORDINATES TAKEN TO GROUND AT LATITUDE N39°56'31.38948", LONGITUDE W84°03'07.66475", PROJECT HEIGHT 872.144', GROUND SCALE FACTOR 1.0000844195

VERTICAL DATUM - NAVD88 COMPUTED USING GEOID12B.



Civil &amp; Environmental Consultants, Inc.

333 Baldwin Road · Pittsburgh, PA 15205

412-429-2324 · 800-365-2324

www.cecinc.com

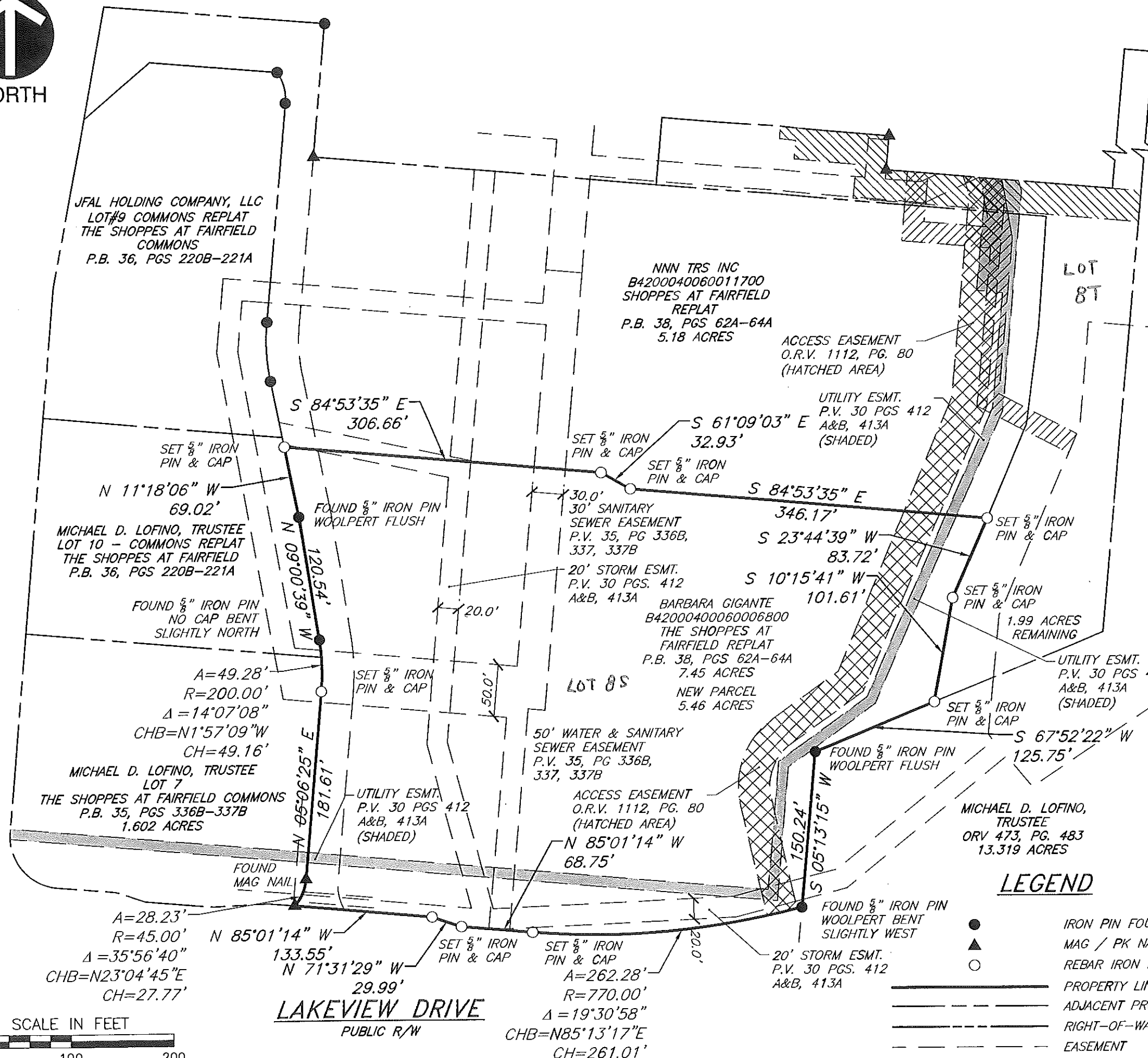
REPLAT OF LOT 8-R  
SECTION 34, TOWN 3 RANGE 7 M.Rs.

Situate In  
CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

Made For  
THE SHOPPES AT FAIRFIELD COMMONS  
AS RECORDED IN P.B. 38, Pgs. 62A-64A  
BEAVERCREEK, OHIO

DATE:	12/03/2015	SCALE:	1"= 100'	DRAWING NO.:
DRAWN BY:	MJW	CHECKED BY:	DRAFT	SV02
PROJECT NO:	152-167	APPROVED BY:	DRAFT	

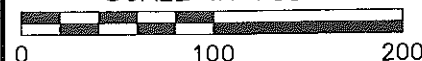
SHEET 2 OF 2



## LEGEND

●	IRON PIN FOUND
▲	MAG / PK NAIL FOUND
○	REBAR IRON PIN SET &
—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
- - -	RIGHT-OF-WAY
- - -	EASEMENT

SCALE IN FEET



December 31, 2015

**STAFF REPORT  
FINAL SUBDIVISION REQUEST  
AAA SUMEREL BEAVERCREEK  
CASE NO. S 16-2**

**APPLICANT:** Peter Joseph (Agent for Owner)  
6125 E. Kemper Road  
Cincinnati, OH 45241

**ENGINEER/** Evans Engineering  
4240 Airport Road  
Cincinnati, OH 45226

**I. NATURE OF REQUEST**

The applicant is requesting approval of a final subdivision of 2.6615 acres located near the southwest corner of North Fairfield Road and Dayton-Xenia Road.

**II. DISCUSSION**

As Planning Commission may remember, in mid-2015, the rezoning for 2.6615 acres of land at the southwest corner of North Fairfield Road and Dayton-Xenia Road was recommended for approval by Planning Commission and ultimately approved by City Council, for the purposes of constructing an AAA Bob Sumerel Tire Center and ancillary retail. As part of the land purchase transaction, the buyers and owners wish to consolidate the properties, part of which is within the Enochs Plat, and part of which is unplatted, into a new AAA Subdivision, consisting of 2 lots. Proposed Lot 1A, which will contain the future AAA Bob Sumerel Tire store, will be approximately 1.6 acres. Proposed Lot 1B, which is the eastern lot, will contain the future multi-tenant retail building, and will be approximately 1.06 acres.

Appropriate cross access and drainage and storm water detention easements have been shown on the proposed record plan, and will be effective should this plat be approved.

The proposed plat has been routed to the appropriate agencies, however, we have not yet received comments back, other than from the Greene County Auditor's Office, which has recommended approval. Once we receive comments from other agencies, we will ensure their concerns have been addressed prior to the release of any record plan.

**III. RECOMMENDATION**

Staff recommends approval of this final subdivision request subject to the

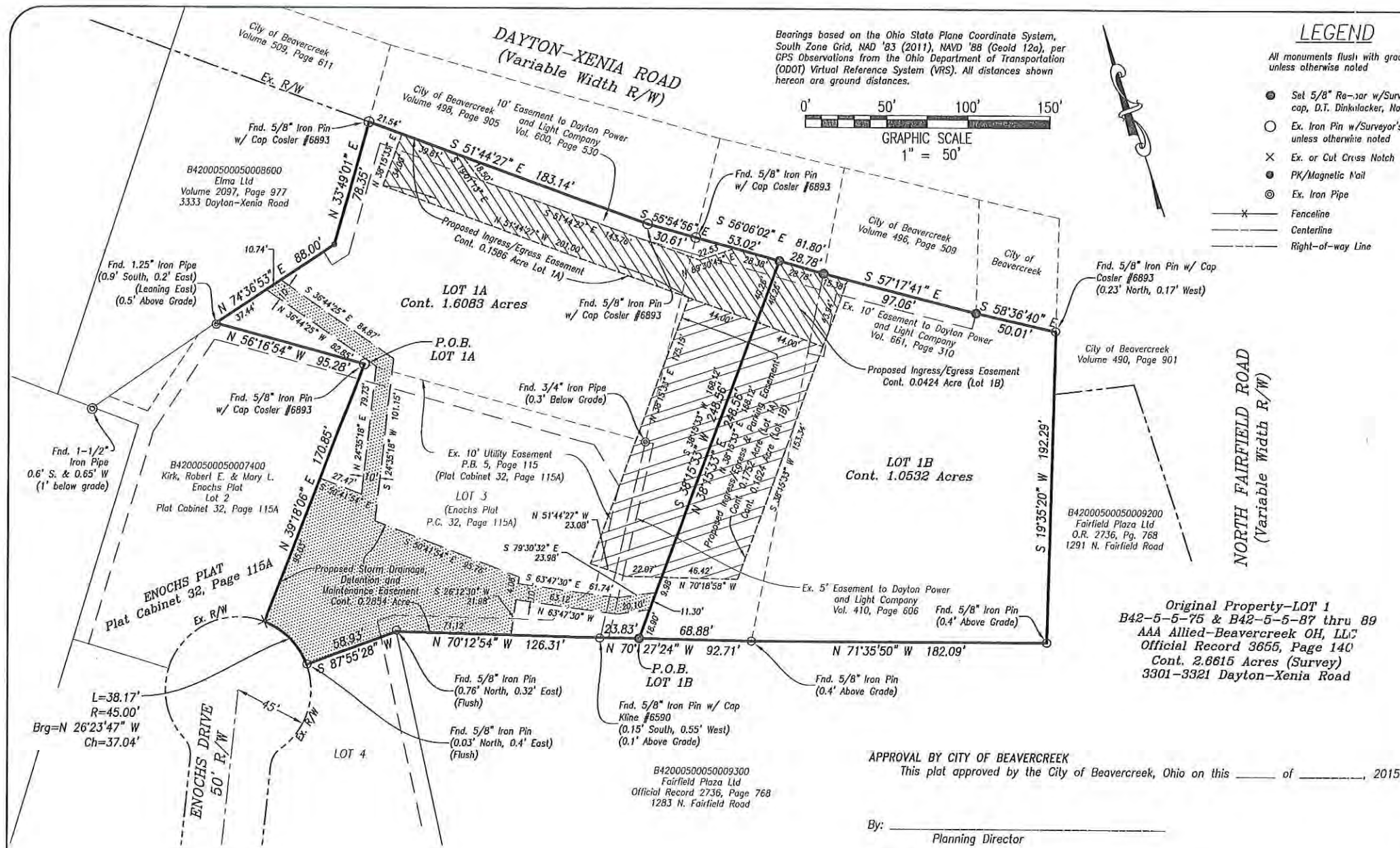


following conditions, which must be addressed prior to release of the record plan:

1. The approved record plan shall be the plan stamped "Received December 31, 2015", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.







# LEGEND

- Set 5/8" Re-bar w/Surveyor's cap, D.T. Dinkelacker, No. 7736
- Ex. Iron Pin w/Surveyor's cap, unless otherwise noted
- × Ex. or Cut Cross Notch
- PK/Magnetic Nail
- ⊙ Ex. Iron Pipe
- Fenceline
- Centerline
- Right-of-way Line

**LAND CONSULTANTS**  
subsidiary company and services  
of THE ENGINEERING GROUP  
THE SURVEY COMPANY  
LAND DEVELOPMENT CONSULTING  
COMMUNITY AND ECONOMIC PLANNING

314 FRONT STREET  
LAWRENCEBURG, IN 47025  
(812) 537-2145  
FAX (812) 537-4901  
Ohio (513) 381-1020  
TOLL-FREE (888) 537-2145  
WWW.LANDCONSUL.COM

Date: November 25, 2015  
Scale: 1"=50'  
Job No: 81599321

Revisions  
No. Date

Drawn by: SJG/DTG  
Checked by: DTD

AAA SUMEREL BEAVERCREEK SUBDIVISION  
being a  
REPLAT of Lot 3 and Metes & Bounds, Allied-Beavercreek OH, LLC  
located in  
Section 32, Town 3, Range 7, M.R.S.  
City of Beavercreek, Greene County, Ohio

Original Property-LOT 1  
B42-5-5-75 & B42-5-5-87 thru 89  
AAA Allied-Beavercreek OH, LLC  
Official Record 3655, Page 140  
Cont. 2.6615 Acres (Survey)  
3301-3321 Dayton-Xenia Road

APPROVAL BY CITY OF BEAVERCREEK  
This plat approved by the City of Beavercreek, Ohio on this \_\_\_\_\_ of \_\_\_\_\_, 2015

By: \_\_\_\_\_  
Planning Director

GREENE COUNTY AUDITOR  
Transferred on the \_\_\_\_\_ day of \_\_\_\_\_, 2015

By: \_\_\_\_\_  
Greene County Auditor

GREENE COUNTY RECORDER

File No. \_\_\_\_\_ Received: \_\_\_\_\_

Recorded: \_\_\_\_\_ Fee: \_\_\_\_\_

Plat Cabinet: \_\_\_\_\_

By: \_\_\_\_\_  
Greene County Recorder



## DESCRIPTION & CERTIFICATION:

The within replat is a subdivision of 2.6615 acres, being a replat of Lot 3 of Enoch's Plat as recorded in Original Plat Book 5, Page 115 and re-recorded in Plat Cabinet 32, Page 115A of the Greene County, Ohio Records, and three (3) metes and bounds descriptions of the land owned by AAA Allied-Beavercreek OH, LLC as recorded in Official Record 3655, Page 140 of the aforesaid records.

I hereby certify that this plat of survey is based on a true and correct field survey performed under my direct supervision and have fully complied with the City of Beavercreek regulations and the subdivision laws of the State of Ohio governing surveying, dividing, and mapping of the land, and that the replat is a correct representation of all exterior boundaries of the land surveyed.

Dennis T. Dinkelacker, P.S.  
Ohio Registration Number 7736

Date

## REFERENCES:

- 1) There is physical occupation along the existing Northern, Southern and Eastern property lines
- 2) All monuments found or set in good condition unless otherwise noted
- 3) Bearings based on the Ohio State Plane Coordinate System, South Zone Grid, NAD 83 (2011), per GPS observations from the Ohio Department of Transportation (ODOT) Virtual Reference System (VRS)
- 4) Source documents used:  
Enoch's Plat (Original Plat Book 5, Page 115), Plat Cabinet 32, Page 115A  
Survey Record No. 8, Page 105, Survey Record No. 9, Page 130, Survey Record No. 18, Page 200, Survey Record No. 30, Page 275, Survey Record No. 31, Page 294, Survey Record No. 36, Page 213, Survey Record No. 39, Page 40, and Survey Record No. 44, Page 50

Existing Deeds and references as shown

## DEDICATION:

We, the undersigned being all the owners and lien holders of the lands herein replatted, do hereby voluntarily consent to the execution of this replat. Easements shown on the replat are for the construction, operation, maintenance, repair, replacement and removal of water, gas, sewers, electric, telephone or other utility mains or lines or services, public or privately owned, and for the express privilege of removing any and all trees or other obstructions to the free use of said utilities and for providing ingress and egress from the property for said purposes, and are to be maintained as such forever.

## OWNER:

Steven W. Verbeck, Vice President  
Owner or representative of AAA Allied-Beavercreek OH, LLC

County of Hamilton  
State of Ohio, ss.

Be it remembered that on this 17 day of December, 2015 before me a Notary Public in said county and said state, personally came Steven W. Verbeck, Vice President, who acknowledged before me the signing and execution of the foregoing instrument to be his/her/their voluntary act and deed.

In testimony whereof, I have hereunto set my hand and affixed my official seal on the above day and date.

M. Stegmann  
Notary Public in and for the State of Ohio

